



**AGENDA
BELOIT CITY COUNCIL
100 State Street, Beloit WI 53511
City Hall Forum – 7:00 p.m.
Monday, November 17, 2014**

1. CALL TO ORDER AND ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. SPECIAL ORDERS OF THE DAY/ANNOUNCEMENTS
 - a. Introduction of **Beloit Public Library Director** Nick Dimassis (Laatz)
 - b. Proclamation recognizing the **Beloit Memorial High School Concert Choir** (Luebke)
 - c. Presentation of the **City and Vision Partner's Rebranding Program** (Monica Krysztopa, Executive Director, Visit Beloit)
4. PUBLIC HEARINGS
 - a. Resolution authorizing a **Conditional Use Permit** to allow a pick-up window in a CBD-2, Central Business District – Fringe, zoning district for the property located at 658 Fourth Street (Christensen) Plan Commission recommendation for approval 7-0
 - b. Resolution amending the **HOME** Investment Partnership (HOME) Budget (Christensen)
5. CITIZENS PARTICIPATION
6. CONSENT AGENDA

All items listed under the Consent Agenda are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Council member so requests, in which event the item will be removed from the General Order of Business and considered at this point on the agenda.

- a. Approval of the **Minutes** of the regular meeting of November 3, 2014 (LeMire)
- b. Application for a **Conditional Use Permit** to allow a drive-up automated teller machine (ATM) in a CBD-1, Central Business District – Core, for the property located at 419 Pleasant Street (Christensen) Refer to Plan Commission
- c. Resolution approving a four-lot **Certified Survey Map** for property located at 2600 Coyote Run (Christensen) Plan Commission recommendation for approval 7-0
- d. Resolution approving **Final Payment** for Public Works Contract C13-15, Ute Standpipe Repainting (Flesch)
- e. Resolution approving **Final Payment** for Public Works Contract C14-06, Ritsher Street Sanitary Sewer Relay (Flesch)

7. ORDINANCES

- a. Proposed Ordinance to amend various sections of 17.06 of the Code of General Ordinance of the City of Beloit pertaining to the regulation of **Solid Waste** (Walsh)
First Reading, suspend the rules for Second Reading

8. APPOINTMENTS

9. COUNCILOR ACTIVITIES AND UPCOMING EVENTS

10. CITY MANAGER'S PRESENTATION – none

11. REPORTS FROM BOARD AND CITY OFFICERS

- a. Resolution authorizing reporting under the Securities and Exchange Commission's **Municipalities Continuing Disclosure Cooperation Initiative** (Miller)
- b. Resolution declaring **Official Intent to Reimburse Expenditures** from proceeds of borrowing (Miller)
- c. Resolution approving **Second Amendment to Equipment Location Lease** with New Cingular Wireless for space on water tower site at 138 Mill Street (Krueger)
- d. Resolution approving **Second Amendment to Equipment Location Lease** with New Cingular Wireless for space on water tower site at 2995 Cranston Road (Krueger)
- e. Resolution adopting a **Collective Bargaining Agreement** between the City of Beloit and the Wisconsin Professional Police Association/Law Enforcement Employee Relations Division (WPPA/LEER) (Simpson)

12. ADJOURNMENT

** Please note that, upon reasonable notice, at least 24 hours in advance, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information to request this service, please contact the City Clerk's Office at 364-6680, 100 State Street, Beloit, WI 53511.

Dated: November 12, 2014
Rebecca Houseman LeMire
City of Beloit City Clerk
www.beloitwi.gov

You can watch this meeting live on Charter PEG digital channel 992. Meetings are rebroadcast during the week of the Council meeting on Tuesday at 1:00 p.m.; Thursday at 8:30 a.m.; and Friday at 1:00 p.m.

WHEREAS, the Performing Arts Department at Beloit Memorial High School offers six curricular choirs classes including Concert Choir, Treble Choir, Men’s Chorus, Women’s Choral Society, Varsity Women’s Choir, and Knights Choir; two extracurricular choirs are also available. “One Voice” is a female a cappella group, and “The Roosters” is a mixed contemporary a cappella and vocal jazz ensemble; and

WHEREAS, the Spark Plug Award was created for and presented to vocal teacher Jacob Truby by the School District of Beloit for reinvigorating a department and body of students; and

WHEREAS, under the tutelage of vocal teacher Jacob Truby, enrollment in choir at BMHS has grown from 110 students to more than 250 students in three years; and

WHEREAS, the most auditioned choral ensemble, the BMHS Concert Choir, was selected as the lone choir to perform at the prestigious 2014 Wisconsin State Music Conference; and

WHEREAS, the Concert Choir collaborates with the Rock River Philharmonic, UW-Rock County Choirs, consistently receives superior rankings from WSMA Concert Group Festivals, and was the featured choir at UW-Eau Claire’s Clearwater Choral Festival; and

WHEREAS, it is necessary and proper to recognize the members of the Beloit Memorial Concert Choir for their contributions to arts and culture in the City of Beloit.

NOW, THEREFORE, BE IT PROCLAIMED that the City Council of the City of Beloit expresses their praise and admiration of Beloit Memorial High School’s Concert Choir; and does hereby proclaim Monday, November 17th as:

“BELOIT MEMORIAL HIGH SCHOOL CONCERT CHOIR DAY”

in the City of Beloit and encourages all citizens and fellow students of the School District of Beloit to recognize their outstanding achievements and talents.

Presented this 17th day of November, 2014.

Mark Spreitzer, City Council President

ATTEST:

Rebecca Houseman LeMire, City Clerk

RESOLUTION
AUTHORIZING A CONDITIONAL USE PERMIT TO ALLOW A PICK-UP WINDOW IN A CBD-2,
CENTRAL BUSINESS DISTRICT- FRINGE, AT 658 FOURTH STREET

WHEREAS, the application of Peter Gabriele for a Conditional Use Permit to allow a pick-up window in a CBD-2, Central Business District- Fringe, for the property located at 658 Fourth Street, having been considered by the City Council of the City of Beloit, Wisconsin at a public hearing held for that purpose and due notice of said hearing having been given by publication as appears by the Proof of Publication filed in the City Clerk's office.

NOW, THEREFORE, BE IT RESOLVED THAT, the City Council of the City of Beloit, Rock County, Wisconsin does hereby grant a Conditional Use Permit to allow a pick-up window in a CBD-2, Central Business District-Fringe, for the property located at 658 Fourth Street in the City of Beloit, for the following described premises:

The Northern 66 feet of Lot 22 of Tenneys Addition, located in the City of Beloit, County of Rock, State of Wisconsin. Said parcel contains 0.2000 acre, more or less.

As a condition of granting the Conditional Use Permit, the City Council does hereby stipulate the following conditions and restrictions upon the Conditional Use, which are hereby deemed necessary for the public interest:

1. This Conditional Use Permit authorizes the pick-up window and drive-thru lane at the subject property, with the restaurant being established in the existing structure at 648 Fourth Street.
2. Site Plan Review and Architectural Review are required prior to beginning work on this project.
3. The applicant shall maintain a minimum of three (3) stacking spaces for the pick-up window.
4. The applicant must coordinate with Charter concerning their existing infrastructure in the right-of-way of St. Lawrence Avenue.
5. A Traffic Impact Analysis must be completed, reviewed, and approved by the City Engineer prior to the start of work.
6. The parking area on the west side of the existing building on the subject property is not allowed.
7. "One Way/Do Not Enter" signs must be installed at the St. Lawrence Avenue curb-cut.
8. Traffic Review Committee approval is required for the proposed terrace parking on St. Lawrence Avenue.
9. If approved, the applicant shall grant a sidewalk and public parking easement. The applicant will be responsible for the cost of these improvements.
10. All improvements shown on the site plan must be completed by November 17, 2015.
11. This Conditional Use Permit does not allow for an outdoor seating area.
12. Any major changes in the adopted conditions or use of the property shall be approved by the Plan Commission and City Council by amending this Conditional Use Permit. The Director of Planning & Building Services may approve minor changes administratively.

Adopted this 17th day of November, 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, Council President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: Conditional Use Permit Application for the property located at 658 Fourth Street

Date: November 17, 2014

Presenter(s): Julie Christensen

Department: Community Development

Overview/Background Information:

Peter Gabriele has filed an application for a Conditional Use Permit to allow a pick-up window in a CBD-2, Central Business District- Fringe, for the property located at 658 Fourth Street.

Key Issues (maximum of 5):

- The applicant has proposed the redevelopment of the existing buildings at 648 & 658 Fourth Street. Palermo's Pizza is anticipated to move into a space at 648 Fourth Street. The applicant is seeking approval for a pick-up window in which the drive-thru lane would be on the property located at 658 Fourth Street.
 - This proposed pick-up window would be located in the existing garage structure at 658 Fourth Street. This will be used for pick-up purposes only, not for ordering.
 - The minimum stacking spaces needed for a pick-up window is three. A by-pass lane is also required. This site meets these minimum requirements.
 - The Plan Commission reviewed this item on November 5, 2014. The Plan Commission voted unanimously (7-0) to recommend approval of the Conditional Use Permit, subject to twelve conditions.
-

Conformance to Strategic Plan:

- Consideration of this request supports Strategic Goal #5.
-

Sustainability:

- **Reduce dependence upon fossil fuels** – N/A
 - **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – N/A
 - **Reduce dependence on activities that harm life sustaining eco-systems** – N/A
 - **Meet the hierarchy of present and future human needs fairly and efficiently** – N/A
-

Action required/Recommendation:

- City Council consideration and action on the proposed Resolution
-

Fiscal Note/Budget Impact: N/A

Attachments: Resolution and Staff Report to the Plan Commission

CITY OF BELOIT

REPORT TO THE BELOIT CITY PLAN COMMISSION



Meeting Date: November 5, 2014

Agenda Item: 4

File Number: CU-2014-08

Applicant: Peter Gabriele

Owner: Peter Gabriele

Location: 658 Fourth Street

Existing Zoning: CBD-2, Central Business District- Fringe

Existing Land Use: Vacant Building

Parcel Size: .20 Acre

Request Overview/Background Information:

Peter Gabriele has filed an application for a Conditional Use Permit to allow a pick-up window in a CBD-2, Central Business District- Fringe, for the property located at 658 Fourth Street. The applicant intends to rehab a portion of the existing building at 648 Fourth Street into a restaurant. The pick-up window and drive-thru area for this will be located at 658 Fourth Street. While the restaurant is permitted, the pick-up window requires a Conditional Use Permit.

Key Issues:

- The applicant has proposed the redevelopment of the existing buildings at 648 & 658 Fourth Street. Palermo's Pizza is anticipated to move into a space at 648 Fourth Street. The applicant is seeking approval for a pick-up window in which the drive-thru lane would be on the property located at 658 Fourth Street. The attached Location & Zoning Map, as well as the proposed site layout shows this configuration.
- This proposed pick-up window would be located in the existing garage structure at 658 Fourth Street. This will be used for pick-up purposes only, not for ordering.
- Eventually, the applicant plans to open a small store and ice cream shop in the existing building at 658 Fourth Street. This will have an outdoor seating area facing St. Lawrence Avenue. A Conditional Use Permit will be required for the seating area in the future.
- The attached **Location and Zoning Map** shows the location of the parcel involved in this application. The adjacent zoning and land uses are as follows:
 - North: C-3, Community Commercial District; Office Uses
 - South: CBD-1, Central Business District- Core; Vacant Building (*Proposed Redevelopment Site*)
 - East: CBD-1, Central Business District- Core; Office Uses
 - West: CBD-1, Central Business District- Core; Storage Warehouse
- According to Section 8-112 of the Zoning Ordinance, restaurant pick-up lanes shall include at least 3 stacking spaces. The proposed layout has an adequate number of stacking spaces.
- Public facilities and infrastructure exist in this area and the property receives the full range of municipal services.
- The drive-thru provides one-way access from Fourth Street onto St. Lawrence Avenue. A bypass lane is required and is proposed at the east side of the property. The entry for the bypass lane will be the same as the entry for the drive-thru. The lane will then loop around east to offer an exit onto Fourth Street. Engineering has concerns about the close proximity to the intersection of St. Lawrence Avenue and Fourth Street. Therefore, a Traffic Impact Analysis is required.
- While no parking is required in the CBD-2 zoning district, terrace parking has been proposed. This will require approval from Traffic Review. This will also require a sidewalk easement since the sidewalk will be relocated onto the applicant's property.
- The applicant has also proposed additional parking on the west side of the lot at the rear of the building. The one-way nature of the drive-thru creates access issues for this parking area. The proposed parking area recently had decorative stamped concrete poured, which is not conducive to a parking area. Also, there is only room for one-way access out of the lot at the curb-cut on St. Lawrence Avenue. Since the applicant does not own or have an easement for the western-half of the curb-cut area, staff is recommending a condition of approval that removes this parking area.
- The City's Review Agents have reviewed this application and have the following comments:
 - Charter has lines and cables in the right-of-way on St. Lawrence Avenue that would have to be worked around if this area is disturbed.
 - Engineering is requiring a Traffic Impact Analysis, as described above.
 - The Downtown Beloit Association is in support of this project and of the staff recommendation to remove the parking area on site.
- The attached Public Notice was sent to eight (8) nearby property owners, which has not resulted in any comments.
- **Findings of Fact**

Based on Section 2-504 of the Zoning Ordinance, the Plan Commission shall make a recommendation based on the following considerations:

- a. *Whether the establishment, maintenance, or operation of the conditional use will be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;*
 - The proposed uses will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. These uses are also compatible in this developed commercial area.

- b. *Whether the conditional use will be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted;*
 - The subject property is located near manufacturing and other commercial uses. Any additional traffic, noise, or glare generated by this development is compatible with existing conditions.
- c. *Whether the conditional use will substantially diminish or impair property values within the neighborhood of the subject property;*
 - The proposed use will not diminish or impair property values within the neighborhood. It will likely increase property values due to increased economic activity and exterior appearance.
- d. *Whether the establishment of the conditional use will impede the normal and orderly development and improvement of the surrounding property;*
 - This is an urbanized area and the surrounding properties are developed.
- e. *Whether the exterior architectural design or site layout of the proposed conditional use is so dissimilar or otherwise incompatible with existing or proposed development in the immediate neighborhood that it will cause a depreciation in property values;*
 - While a drive-thru lane going through an existing garage structure is unusual, it is compatible with other downtown designs. During Architectural Review, Planning staff will ensure that the proposed building façade is attractive.
- f. *Whether adequate utilities, access roads, drainage or other necessary facilities will be available to serve the proposed use at the time of its occupancy or use;*
 - Adequate facilities and infrastructure are available to serve the conditional use. The applicant's proposed parking is not required or necessary for this site development.
- g. *Whether adequate measures will be taken to minimize traffic congestion; and*
 - The proposed pick-up window will have enough stacking spaces to avoid traffic congestion.
 - The possible interruption of traffic flow from the proposed bypass lane will be examined during the Traffic Impact Analysis.
- h. *Whether the conditional use will comply with all applicable regulations of the Zoning Ordinance.*
 - The conditional use will comply with all other applicable regulations of the Zoning Ordinance.

Consistency with Comprehensive Plan and Strategic Plan:

The Downtown Redevelopment Plan recommends Planned Mixed Use: Office and Upper Residential uses for the subject property. This proposed development and the underlying zoning classification are consistent with this recommendation. Consideration of this request supports City of Beloit Strategic Goal #5.

Sustainability:

- **Reduce dependence upon fossil fuels** – N/A
- **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – N/A
- **Reduce dependence on activities that harm life sustaining eco-systems** – N/A
- **Meet the hierarchy of present and future human needs fairly and efficiently** – N/A

Staff Recommendation:

The Planning & Building Services Division recommends **approval** of a Conditional Use Permit to allow pick-up window in a CBD-2, Central Business District- Fringe, for the property located at 658 Fourth Street, based on the above Findings of Fact and subject to the following conditions:

1. This Conditional Use Permit authorizes the pick-up window and drive-thru lane at the subject property, with the restaurant being established in the existing structure at 648 Fourth Street.
2. Site Plan Review and Architectural Review are required prior to beginning work on this project.
3. The applicant shall maintain a minimum of three (3) stacking spaces for the pick-up window.
4. The applicant must coordinate with Charter concerning their existing infrastructure in the right-of-way of St. Lawrence Avenue.
5. A Traffic Impact Analysis must be completed, reviewed, and approved by the City Engineer prior to the start of work.
6. The parking area on the west side of the existing building on the subject property is not allowed.
7. "One Way/Do Not Enter" signs must be installed at the St. Lawrence Avenue curb-cut.
8. Traffic Review Committee approval is required for the proposed terrace parking on St. Lawrence Avenue.
9. If approved, the applicant shall grant a sidewalk and public parking easement. The applicant will be responsible for the cost of these improvements.
10. All improvements shown on the site plan must be completed by November 17, 2015.
11. This Conditional Use Permit does not allow for an outdoor seating area.
12. Any major changes in the adopted conditions or use of the property shall be approved by the Plan Commission and City Council by amending this Conditional Use Permit. The Director of Planning & Building Services may approve minor changes administratively.

Fiscal Note/Budget Impact: N/A

Attachments: Location & Zoning Map, Site Plan, Site Photos, Application, Public Notice, and Mailing List.

Location & Zoning Map

658 Fourth Street

CU-2014-08



1 inch = 67 feet

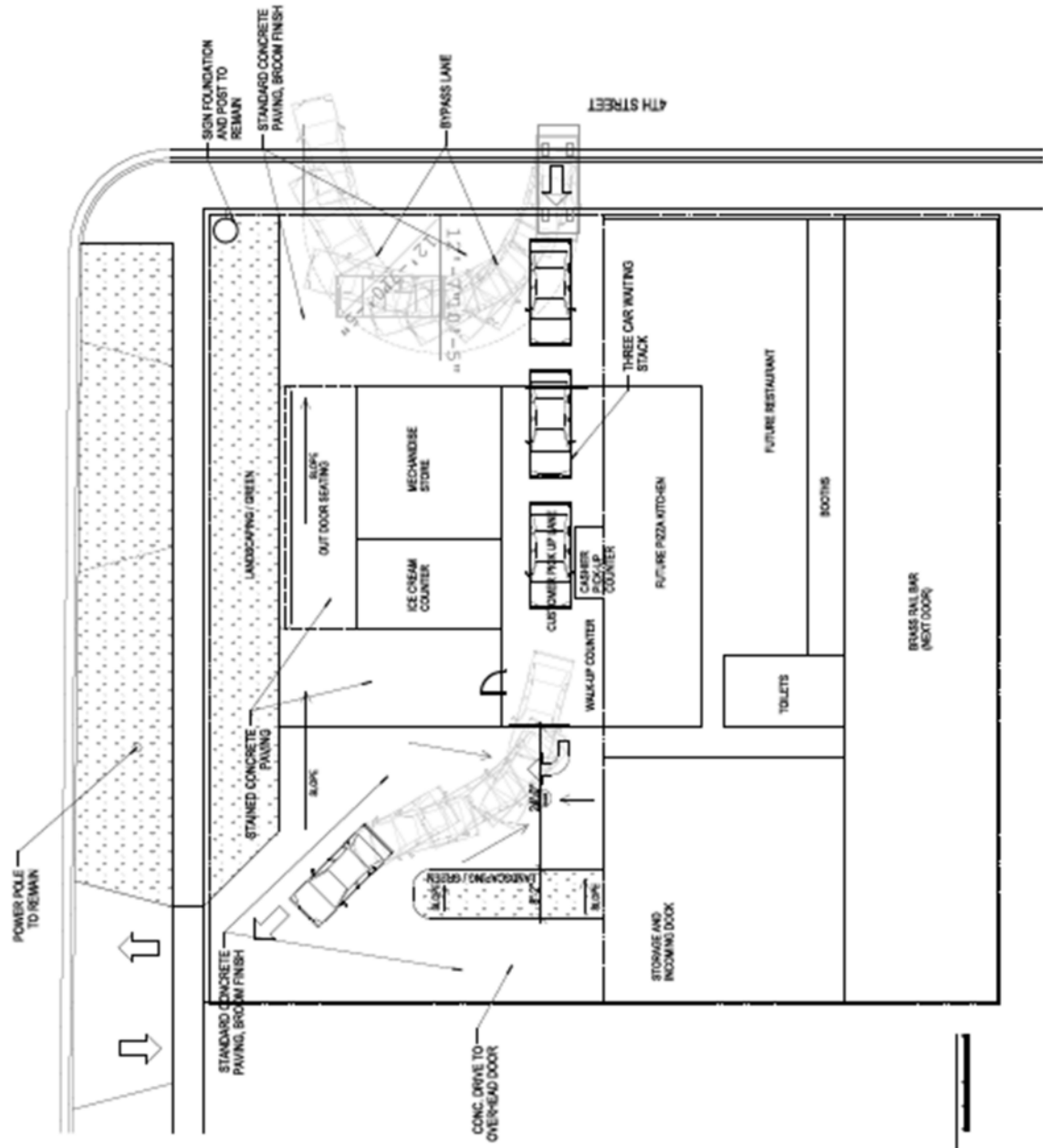


Legend

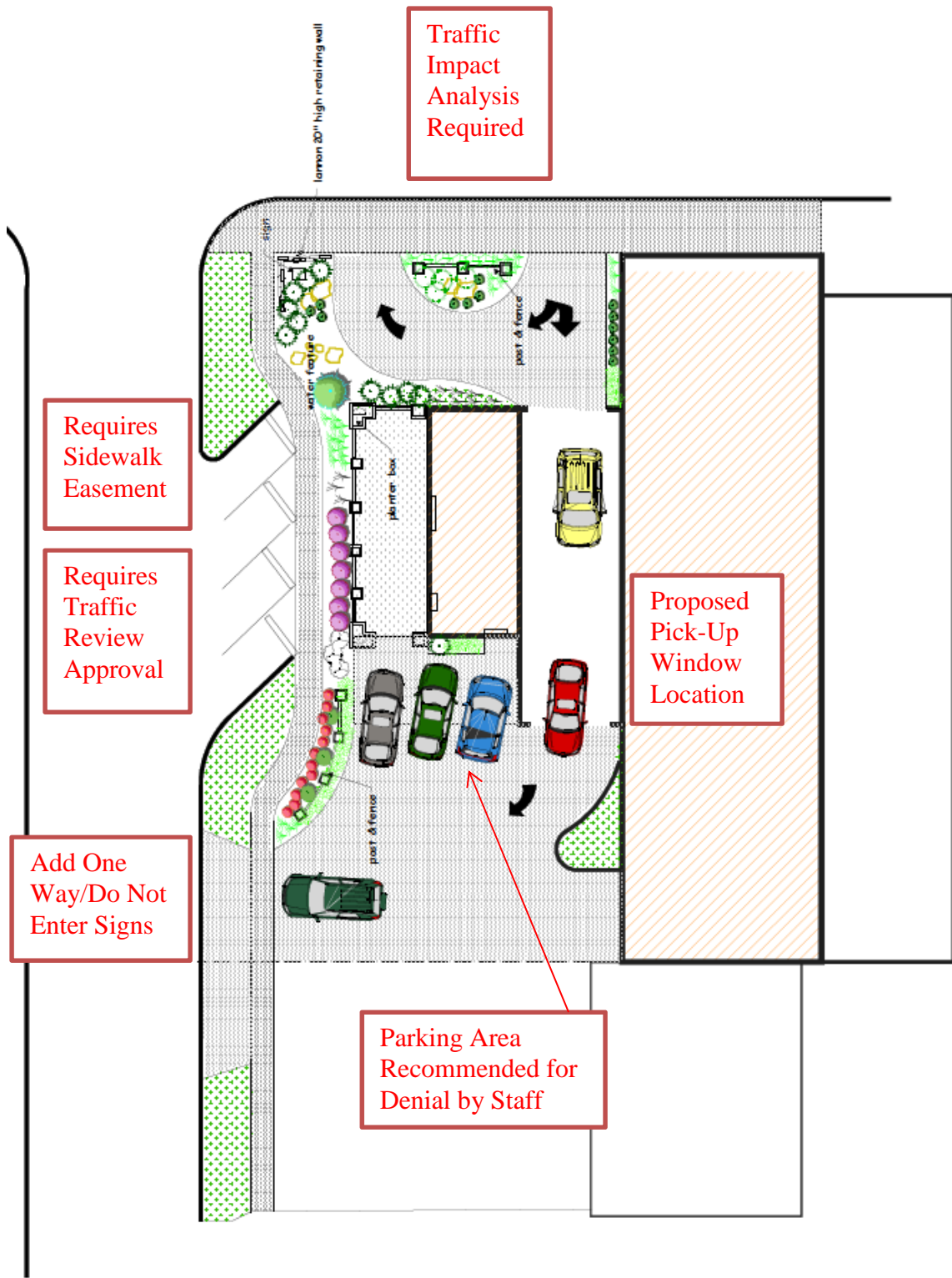
- COB Parcels
- Zoning District

Map prepared by: Stephanie Hummel
Date: October 2014
For: City of Beloit Planning & Building Services
Date of Aerial Photography: March 2011

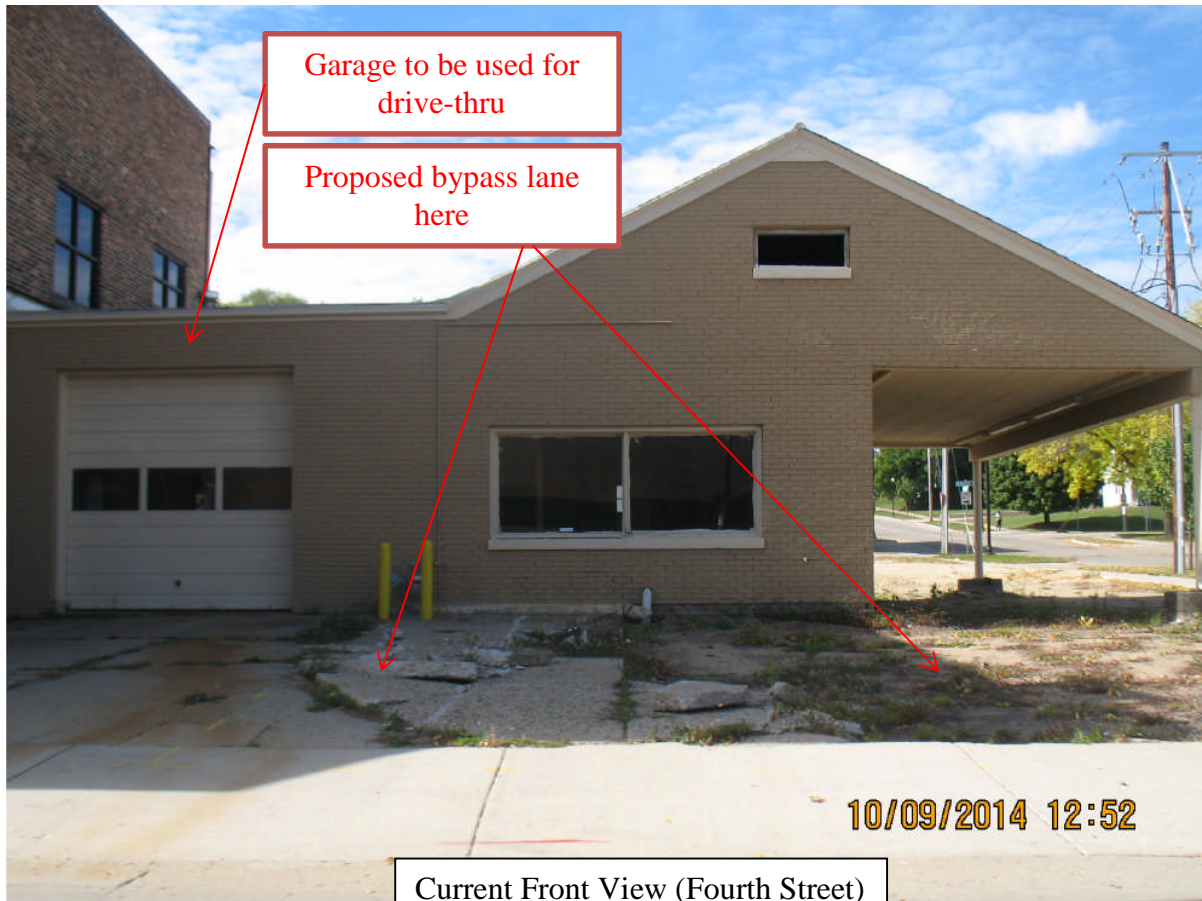
PLANNING & BUILDING SERVICES DIVISION



Original Submission: Does not show terrace parking, bypass lane, or proposed site parking



Final Submission with Landscaping Details



Garage to be used for drive-thru

Proposed bypass lane here

Current Front View (Fourth Street)



One-way exit for drive-thru

Current Rear View (St. Lawrence Ave)

CITY of BELOIT

Planning and Building Services Division

100 State Street, Beloit, WI 53511 Phone: (608) 364-6700 Fax: (608) 364-6609

Conditional Use Permit Application

(Please Type or Print)

File Number: CU-2014-08

1. Address of subject property: 648 - 658 4th Street

2. Legal description: CBD-2

If property has not been subdivided, attach a copy of the complete legal description from deed.

Property dimensions are: 160 feet by 155 feet = 24,000 square feet.

If more than two acres, give area in acres: NA .20 acres.

3. Tax Parcel Number(s): 13530535, 13530540 ✓

4. Owner of record: Peter Gabriele Phone: 608 365 9489
2200 Riverside Dr Beloit WI 53511
(Address) (City) (State) (Zip)

5. Applicant's Name: Peter Gabriele
2200 Riverside Dr Beloit WI 53511
(Address) (City) (State) (Zip)

608 365 9489, 608 289 0813, peter@domeicos.us
(Office Phone #) (Cell Phone #) (E-mail Address)

6. All existing use(s) on this property are: N/A

7. **THE FOLLOWING ACTION IS REQUESTED:**

A Conditional Use Permit for: Drive Up Window - Outdoor
in a(n) CBD-2 Zoning District.

8. All the proposed use(s) for this property will be:

Principal use: Restaurant & Bar, Delivery & Carryout Service

Secondary use: _____

Accessory use: _____

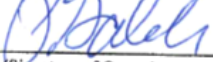
9. Project timetable: Start date: _____ Completion date: _____

10. I/We) represent that I/we have a vested interest in this property in the following manner:

- Owner
- Leasehold, length of lease: _____
- Contractual, nature of contract: _____
- Other, explain: _____

The applicant's signature below indicates the information contained in this application and on all accompanying documents is true and correct.

I/We, the undersigned, do hereby respectfully make application for and petition the City Plan Commission and City Council to grant the requested action for the purpose stated herein. I/We represent that the granting of the proposed request will not violate any of the required standards of the Zoning Ordinance of the City of Beloit. I/We also agree to abide by all applicable federal, state and local laws, ordinances, rules, and regulations.


Peter Gabriele
10/10/14
 (Signature of Owner) (Print name) (Date)

 (Signature of Applicant, if different) (Print name) (Date)

In order for your request to be heard and considered in a timely manner, you must submit the completed application, and all accompanying documents, to the Planning and Building Services Division for acceptance by the filing deadline date prior to a scheduled Plan Commission meeting.

This application must be submitted with one copy of a scaled drawing showing the layout of the proposed development in accordance with all code requirements, and the \$275.00 application fee. Applicants will also be charged a fee for mailing public notices at the rate of \$0.50 per notice. An invoice for this fee will be sent to the applicant and these costs are typically between \$5.00 and \$15.00.

To be completed by Planning Staff

Filing fee: **\$275.00** Amount paid: 275 Meeting date: 11/5/2014

No. of notices: _____ x mailing cost (\$0.50) = cost of mailing notices: \$ _____

Application accepted by: S. Hummel Date: 10/10/14



NOTICE TO THE PUBLIC

October 23, 2014

To Whom It May Concern:

Peter Gabriele has filed an application for a Conditional Use Permit to allow a pick-up window in a CBD-2, Central Business District-Fringe, for the property located at:

648/658 Fourth Street.

The restaurant will be developed at 648 Fourth Street. The pick-up window and drive-thru area for this will be located at 658 Fourth Street. The existing structure will be repurposed for this use.

The following public hearings will be held regarding this proposed Conditional Use Permit:

City Plan Commission: Wednesday, November 5, 2014, at 7:00 PM, or as soon thereafter as the matter can be heard in The Forum, Beloit City Hall, 100 State Street.

City Council: Monday, November 17, 2014, at 7:00 PM, or as soon thereafter as the matter can be heard in The Forum, Beloit City Hall, 100 State Street.

THE PUBLIC IS INVITED TO ATTEND THESE HEARINGS.

We are interested in your opinion.

Anyone bringing handouts to the Plan Commission meeting must bring ten (10) copies and submit them to the Recording Secretary before the meeting begins. Staff is unable to leave the meeting area to make copies.

For additional information, please contact Stephanie Hummel in the Planning & Building Services Division at (608) 364-6708 or hummels@beloitwi.gov. Comments will be accepted via telephone, email, and U.S. Mail.

SUPERVALU STORES INC
P O BOX 990
MINNEAPOLIS, MN 55440

COLE WG BELOIT WI LLC
P O BOX 1159
DEERFIELD, IL 60015

845 BROAD STREET LLC
1300 HARVEY ST
BELOIT, WI 53511

CYRIL & BARBARA FINNEGAN REVOCABLE
TRUST
P O BOX 26
BELOIT, WI 535120026

VALENTI MIDWEST INC
3450 BUSCHWOOD PARK DR STE 195
TAMPA, FL 33618

ST THOMAS CATHOLIC CHURCH
822 E GRAND AVE
BELOIT, WI 535116317

SOO LINE RAILROAD COMPANY
120 S 6TH ST STE 190
ATTN: REAL ESTATE
MINNEAPOLIS, MN 55402

JAGGER BAY PROPERTIES LLC
250 GARDEN LN STE 250
BELOIT, WI 53511

BINDI R INC
903 BROAD ST
BELOIT, WI 53511

RESOLUTION
AMENDING THE HOME INVESTMENT PARTNERSHIP (HOME) BUDGET

WHEREAS, the City of Beloit has \$322,860 in 2010-2014 HOME Investment Partnership Program (HOME) dollars, and

WHEREAS, the HOME funds are required to be expended in a timely manner and the funds allocated to the City's housing rehab loan program are not being spent in a timely manner, and

WHEREAS, acquisition-rehabilitation is an eligible HOME activity, and

WHEREAS, acquiring and rehabbing houses is consistent with the City's Consolidated Plan.

NOW THEREFORE BE IT RESOLVED, that the City Council of the City of Beloit, Rock County, Wisconsin amends the HOME Budget to allow the \$322,860 in 2010-2014 HOME funds and any new program income to be used for either acquisition-rehabilitation projects or owner-occupied rehabilitation projects.

Adopted this 17th day of November, 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, Council President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: Reallocation of City HOME funds

Date: November 17, 2014

Presenter(s): Julie Christensen

Department: Community Development Authority

Overview/Background Information:

In July 2001, the City of Beloit, Rock County and City of Janesville formed the Rock County HOME Consortium. This allows us to receive HOME funds directly from the Department of Housing and Urban Development (HUD) similar to CDBG.

Key Issues (maximum of 5):

1. According to HOME Investment Partnership Program guidelines, 19 percent of the HOME funds are allocated to the City of Beloit. Historically, we have allocated these funds to the City's Housing Rehab Revolving Loan Fund
2. The City of Beloit currently has a balance in its 2010 – 2014 HOME Program funds of \$322,860. At this point, these funds are allocated to the City's Housing Rehab Revolving Loan Fund. We are receiving few applications for these HOME funds, mostly due to the fact the entire property has to be brought up to code when a HOME loan is awarded and all mechanicals have to have a useful life of five years. This makes it difficult for many homeowners to afford an owner-occupied rehab loan.
3. We have committed existing Program Income funds. However, additional Program Income funds are received every month which must be spent before we spend grant dollars. At this point, we are proposing to allocate these prior year (2010-2014) grant funds and any new Program Income to be used for either acquisition-rehabilitation projects or owner-occupied rehab loans. This will give us the flexibility to use these funds on acquisition-rehabilitation projects if the funds are not being spent on owner-occupied rehabilitation projects.
4. Our proposed acquisition-rehab projects include 422 Bluff/310 Euclid which already has HOME funds allocated to it; 1009 Central Avenue, which was purchased from Rock County during the tax foreclosure process in 2014; and 318 Moore, a house which was purchased by the City in 2012 through the Rock County tax foreclosure process.
5. If we do not use these funds, we will lose them. If we cannot commit these funds to projects in the next few months, the Rock County Consortium will look for other uses for these funds. We have proposed this alternative to allow Beloit to use the HOME funds in Beloit.
6. The 2015 HOME Budget, as approved on November 3, 2014, includes approximately \$90,000 owner-occupied rehabilitation loans.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

- Consideration of this request supports Strategic Goal #5 - Apply sound, sustainable practices to promote a high quality community through historic preservation, community revitalization and new development.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- **Reduce dependence upon fossil fuels** – Not applicable

- **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – Not Applicable
- **Reduce dependence on activities that harm life sustaining eco-systems** – Not Applicable
- **Meet the hierarchy of present and future human needs fairly and efficiently** – This proposal would allow us to retain the HOME funds and rehabilitate viable structures which will then be sold to low-moderate income homeowners.

Action required/Recommendation:

Consideration of the attached resolution.

Fiscal Note/Budget Impact:

The City's HOME funds are required to be allocated to eligible projects or we risk losing the funds.

Attachments:

Resolution



PROCEEDINGS OF THE BELOIT CITY COUNCIL
100 State Street, Beloit WI 53511
Monday, November 3, 2014

Presiding: Mark Spreitzer
Present: Sheila De Forest, Charles M. Haynes, Regina Hendrix, Ana Kelly, Chuck Kincaid, and David F. Luebke
Absent: None

1. The meeting was called to order at 7:00 p.m. in the Forum at Beloit City Hall.
2. PLEDGE OF ALLEGIANCE
3. SPECIAL ORDERS OF THE DAY/ANNOUNCEMENTS
 - a. City Manager Larry Arft presented a resolution designating a portion of Public Avenue from Pleasant Street to College Street with the honorary name of **Marcy Berner-Reedy Avenue**. Councilor Luebke made a motion to adopt the resolution, and Councilor De Forest seconded. The motion carried 7-0. Mr. Arft and President Spreitzer presented Ms. Berner-Reedy with a street sign. Meals on Wheels Board President Jeff Johnson thanked the City Council, Mr. Arft, Assistant to the City Manager Beth Jacobsen, and Public Works staff for their work and coordination of the honorary street name and sign. Mr. Arft said that a formal presentation, including a proclamation, will be at Ms. Berner-Reedy's retirement party on November 20th. File 8659
4. PUBLIC HEARINGS
 - a. Community Development Director Julie Christensen presented a proposed Ordinance amending the City of Beloit **Zoning District Map** to change the zoning district classification of the property located at 3311 Prairie Avenue from C-1, Office District, to C-3, Community Commercial District. It was noted that the Plan Commission recommended approval 7-0. Councilor Spreitzer opened the public hearing:
 - Tom Smith, owner of the subject property, said that he is present to answer any questions the Council may have.Councilor Spreitzer closed the public hearing. Councilor Luebke made a motion to suspend the rules and offer a second reading of the ordinance. Councilor De Forest seconded, and the motion carried 7-0. On the merits, Councilor Kincaid made a motion to enact the ordinance, and Councilor Haynes seconded. The motion carried 7-0. File 8661 Ordinance 3545
 - b. Ms. Christensen presented a proposed Ordinance amending the City of Beloit **Zoning District Map** to change the zoning district classification of the property located at 1901 Gateway Boulevard from DH, Development Holding District, to M-2, General Manufacturing District. It was noted that the Plan Commission recommended approval 7-0. Ms. Christensen said that the City of Beloit owns this property and that the Comprehensive Plan shows Business Park uses as the property's future land use. Councilor Spreitzer opened and closed the public hearing without participation. Councilor Haynes made a motion to suspend the rules and offer a second reading of the ordinance. Councilor Kelly seconded. Councilor De Forest asked Economic Development Director Andrew Janke if the residents had any concerns, and Mr. Janke stated that he did not hear from any residents. The motion carried 7-0. On the merits, Councilor Kincaid made a motion to enact the ordinance, and Councilor Haynes seconded. The motion carried 7-0. File 8662 Ordinance 3546
5. CITIZENS PARTICIPATION – none
6. CONSENT AGENDA

Councilor Haynes made a motion to adopt the Consent Agenda, which consists of items 6.a. through 6.e. Councilor Kelly seconded, and the motion carried that the Consent Agenda be accepted, approved, adopted, or referred and acted upon as required by state and local codes by a vote of 7-0.

- a. The **Minutes** of the regular meeting of October 20, 2014, were approved.
- b. The application for a **Conditional Use Permit** to allow a drive-up window in a CBD-2, Central Business District – Fringe, zoning district for the property located at 658 Fourth Street, was referred to the Plan Commission. File 8664
- c. The application for a **Certified Survey Map** for property located at 2600 Coyote Run was referred to the Plan Commission. File 7258
- d. The resolution approving **Final Payment** for Public Works Contract C12-15, Broad Street Parking Lot was adopted. File 8612
- e. The resolution approving **Final Payment** for Public Works Contract C14-05, Crack Sealing and Sealcoating, was adopted. File 8640

7. ORDINANCES

- a. Ms. Christensen presented a proposed ordinance to amend Section 1.82(7)(a) of the Code of General Ordinances of the City of Beloit pertaining to meetings of the **Equal Opportunities Commission**. Ms. Christensen stated that the Commission wants to move the time of the meeting from 5:30 p.m. to 5:45 p.m. so that more working members could arrive on time. Councilor De Forest made a motion to suspend the rules and offer a second reading of the ordinance. Councilor Kelly seconded, and the motion carried 7-0. On the merits, Councilor De Forest made a motion to enact the ordinance, and Councilor Haynes seconded. The motion carried 6-1, with Councilor Kincaid voting in opposition. File 7465 Ordinance 3547

8. APPOINTMENTS – none

9. COUNCILOR ACTIVITIES AND UPCOMING EVENTS

- Councilor Luebke said that he went to a program regarding the I-39/90 corridor enhancements, and he commended Councilor De Forest for her role in bringing construction training opportunities to Beloit.
- Councilor Kincaid said that he enjoyed Halloween with hundreds of kids in his neighborhood. He said that he attended an Equality Committee meeting for the Beloit School District and that he is looking forward to attending more meetings. He said that he attended a celebration for Tom Warn who wrote a book about Beloit.
- Councilor Hendrix reminded the public about the Kids Against Hunger event on November 15th at 8:00 a.m. sponsored by Beloit College Upward Bound program. She also mentioned the Challenge Event at the Beloit School District, which will focus on self-esteem, expression, and suppressing violence and bullying.
- Councilor Haynes encouraged the public to vote in the November 4th General Election and beat the projected voter turnout of 50 percent.
- Councilor Spreitzer encouraged the public to vote and thanked the Clerk's office for their hard work in preparing for the election. He said that he will not run for City Council again in 2015 and that nomination paperwork is available in the Clerk's office. He congratulated Elizabeth Krueger on her promotion to City Attorney.

10. CITY MANAGER'S PRESENTATION – none

11. REPORTS FROM BOARD AND CITY OFFICERS

- a. Ms. Christensen presented a resolution approving the **Community Development Block Grant (CDBG) 2015-2019 Consolidated Plan, 2015 CDBG Annual Action Plan and 2015 CDBG Budget**. It was noted that the Community Development Authority recommended approval 4-0. Ms. Christensen said that a local steering committee assisted in developing the five-year consolidated plan. Councilor Luebke made a motion to adopt the resolution, and Councilor Haynes seconded. Councilor De Forest thanked Community and Housing Services Director Teri Downing for reaching out to the affected organizations. The motion carried 7-0. File 8652

- b. Ms. Christensen presented a resolution approving the **2015 HOME Investment Partnership Budget**. It was noted that the Community Development Authority recommended approval 4-0. Councilor Kincaid made a motion to adopt the resolution. Councilor Kelly seconded, and the motion carried 7-0. File 8663
 - c. Downtown Beloit Association Executive Director Shauna El-Amin presented a resolution approving the **2015 Business Improvement District** Operating Plan and Budget. Ms. El-Amin presented the 2014 projects and those proposed for 2015. She noted that the DBA Board of Directors recommended approval of the budget. Councilor De Forest made a motion to adopt the resolution, and Councilor Hendrix seconded. The motion carried 7-0. File 8479
 - d. Finance and Administrative Services Director Eric Miller presented a resolution authorizing changes to the **2015 Schedule of Fees, Charges, and Rates** for the City of Beloit, Wisconsin. Mr. Miller noted that the previously proposed increase in transit fares has been removed. Councilor De Forest expressed concern about the increase in fees for residents for the municipal pool. Director of Parks and Leisure Services Brian Ramsey said that they are proposing to change the entire fee structure. Councilor De Forest expressed concern about the increase in overage fees for garbage collection. Mr. Miller said that the proposed fee is in line with the cost of a yard waste tag. Councilor Luebke made a motion to adopt the resolution, and Councilor Haynes seconded. Councilor De Forest made a motion to amend the resolution to change the non-resident fee for the municipal pool for 11-17 year-olds to \$4.50. Councilor Kelly seconded. The motion to amend the resolution carried 7-0. The motion to adopt the amended resolution carried 7-0. File 8649
 - e. Mr. Miller presented a resolution approving the **Operating Budgets, Appropriating Funds, and Levying Property Taxes necessary for the Operation and Administration of the City of Beloit for the Year 2015** including the 2015 Capital Improvement Budget, the Beloit Public Library Budget; and further authorizing the City Treasurer to spread the City Property Tax along with the apportionments certified for other Jurisdictions upon the current tax roll of the City. Mr. Miller said that this is the final step in a process that has taken several months. Councilor Haynes made a motion to adopt the resolution, and Councilor Luebke seconded. Councilor De Forest thanked the City Manager, Mr. Miller and staff for their work on the budget document, but she said that she will vote against the budget. She said that the City needs to prioritize the number of police officers on the street and that she would like to see recruitments take place throughout the year so vacancies can be filled quickly. The motion to adopt the resolution carried 6-1, with Councilor De Forest voting in opposition. File 8649
12. At 8:06 p.m., Councilor Hendrix made a motion to adjourn the meeting, and Councilor Kelly seconded. The motion carried 6-1, with Councilor Haynes voting in opposition.

Rebecca Houseman LeMire, City Clerk

www.ci.beloit.wi.us

Date approved by Council:

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: Conditional Use Permit Application for the property located at 419 Pleasant Street – Council Referral to the Plan Commission

Date: November 17, 2014

Presenter(s): Julie Christensen

Department: Community Development

Overview/Background Information:

Hendricks Commercial Properties has filed an application for a Conditional Use Permit to allow a Drive-Up Automated Teller Machine (ATM) in the CBD-1, Central Business District – Core, for the property located at 419 Pleasant Street.

Key Issues (maximum of 5):

- The applicant is in the process of building-out a first floor tenant suite for Blackhawk Community Credit Union in the Vision Center building on the corner of Pleasant Street and Public Avenue.
 - The bank's proposed ATM will be a freestanding ATM in the rear parking lot, as shown on the attached site plan.
 - The ATM will be accessed from an existing driveway on Public Avenue. In order to address concerns about the three required stacking spaces blocking parked vehicles, the applicant has agreed to sign & stripe the five affected parking stalls as bank employee only stalls.
 - As an alternative, the applicant could be required to saw-cut & replace the affected parking stalls with landscaping.
-

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

- Consideration of this request supports Strategic Goal #5.
-

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- **Reduce dependence upon fossil fuels** – N/A
 - **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – N/A
 - **Reduce dependence on activities that harm life sustaining eco-systems** – N/A
 - **Meet the hierarchy of present and future human needs fairly and efficiently** – N/A
-

Action required/Recommendation:

- Referral to the Plan Commission for the November 19, 2014 meeting
 - This item will most likely return to the City Council for a public hearing and possible action on December 1, 2014
-

Fiscal Note/Budget Impact: N/A

Attachments: Application & Site Plan

CITY of BELOIT

Planning and Building Services Division

100 State Street, Beloit, WI 53511 Phone: (608) 364-6700 Fax: (608) 364-6609

Conditional Use Permit Application

(Please Type or Print)

File Number: CU-2014-09

1. Address of subject property: 409 PLEASANT ST

2. Legal description: SEE ATTACHED

If property has not been subdivided, attach a copy of the complete legal description from deed.

Property dimensions are: _____ feet by _____ feet = _____ square feet.

If more than two acres, give area in acres: _____ acres.

3. Tax Parcel Number(s): 206 13530945

4. Owner of record: HETONICH COMMERCIAL Phone: 608-362-8981
525 3RD ST SUITE 300 PROPERTIES WI 53189
(Address) (City) (State) (Zip)

5. Applicant's Name: HETONICH COMMERCIAL PROPERTIES (CRITE BRANTZ)
525 3RD ST, SUITE 300 BELOIT, WI 53511
(Address) (City) (State) (Zip)
608-362-8981 | |
(Office Phone #) (Cell Phone #) (E-mail Address)

6. All existing use(s) on this property are: COMMERCIAL

7. THE FOLLOWING ACTION IS REQUESTED:

A Conditional Use Permit for: Automated teller machine.
_____ in a(n) CBD Zoning District.

8. All the proposed use(s) for this property will be:

Principal use: _____

Secondary use: _____

Accessory use: _____

9. Project timetable: Start date: 10/1/14 Completion date: 7/1/15

10. I/We) represent that I/we have a vested interest in this property in the following manner:
- Owner
 - Leasehold, length of lease: _____
 - Contractual, nature of contract: _____
 - Other, explain: _____

The applicant's signature below indicates the information contained in this application and on all accompanying documents is true and correct.

I/We, the undersigned, do hereby respectfully make application for and petition the City Plan Commission and City Council to grant the requested action for the purpose stated herein. I/We represent that the granting of the proposed request will not violate any of the required standards of the Zoning Ordinance of the City of Beloit. I/We also agree to abide by all applicable federal, state and local laws, ordinances, rules, and regulations.

Scott J. Henrichs | SCOTT J. HENRICHS | 10/10/14
(Signature of Owner) (Print name) (Date)

Scott J. Henrichs | SCOTT J. HENRICHS | 10/10/14
(Signature of Applicant, if different) (Print name) (Date)

In order for your request to be heard and considered in a timely manner, you must submit the completed application, and all accompanying documents, to the Planning and Building Services Division for acceptance by the filing deadline date prior to a scheduled Plan Commission meeting.

This application must be submitted with one copy of a scaled drawing showing the layout of the proposed development in accordance with all code requirements, and the \$275.00 application fee. Applicants will also be charged a fee for mailing public notices at the rate of \$0.50 per notice. An invoice for this fee will be sent to the applicant and these costs are typically between \$5.00 and \$15.00.

To be completed by Planning Staff	
Filing fee: \$275.00	Amount paid: <u>\$275.⁰⁰</u> Meeting date: <u>Nov. 19, 2014</u>
No. of notices: _____	x mailing cost (\$0.50) = cost of mailing notices: \$ _____
Application accepted by: <u><i>Drew Swainston</i></u>	Date: <u>10/15/14</u>

**RESOLUTION
APPROVING A FOUR-LOT CERTIFIED SURVEY MAP
FOR THE PROPERTY LOCATED AT 2600 COYOTE RUN**

WHEREAS, Section 12.05(1)(c) of Chapter 12 of the Code of General Ordinances of the City of Beloit entitled “*Subdivision and Official Map Ordinance*” authorizes the City Council of the City of Beloit to approve, conditionally approve, or reject any minor subdivision of land within the City that involves the dedication of land to the public; and

WHEREAS, the attached four-lot Certified Survey Map for the property located at 2600 Coyote Run, containing 5 acres, more or less, is located within the jurisdiction of the City of Beloit and includes the dedication of land to the public; and

WHEREAS, the Plan Commission of the City of Beloit has heretofore recommended approval of the attached four-lot Certified Survey Map, along with the dedication of land to the public, which pertains to the following described land:

Being Part of Lot 1 of Certified Survey Map Document No. 999142 as Recorded in Volume 12, Pages 5-8 of Certified Survey Maps as Situated in Part of Lot 3 of Morgan Farm Subdivision, Being All a Part of the N.W. ¼ of the N.W. ¼ and Part of the N.E. ¼ of the N.W. ¼ of Section 20, T. 1 N., R. 13 E. of the Fourth P.M., Now City of Beloit, Rock County, Wisconsin.

NOW, THEREFORE, BE IT RESOLVED THAT, the City Council of the City of Beloit does hereby approve the attached four-lot Certified Survey Map for the property located at 2600 Coyote Run, subject to the following conditions:

1. The final CSM shall label the lots as “out-lots,” along with a note explaining that the lots will not become buildable until they are re-platted as regular lots and the dedicated street segments are fully constructed and accepted.
2. Each out-lot cannot be combined with an adjoining residential lot until the agricultural use is discontinued and the out-lot is converted to lawn. Accessory buildings may only be constructed following this conversion & combination.
3. The final CSM shall be recorded with the Rock County Register of Deeds by December 31, 2014.

Adopted this 17th day of November, 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, Council President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: Certified Survey Map (CSM) for the property located at 2600 Coyote Run

Date: November 17, 2014

Presenter(s): Julie Christensen

Department: Community Development

Overview/Background Information:

R.H. Batterman & Co., Inc. has submitted an Application for the Review of a Minor Subdivision and a 4-Lot Certified Survey Map (CSM) for the property located at 2600 Coyote Run. According to Section 12.05(1)(c) of the Subdivision Ordinance, the Plan Commission shall recommend to the City Council approval, conditional approval, or rejection of any minor subdivision of land within the City that involves the dedication of land to the public.

Key Issues:

- The intent of the proposed CSM is to subdivide this 5-acre parcel into four lots of various sizes to be purchased by the owners of adjoining single-family properties in Deerfield Estates and Deerfield Estates First Addition.
 - In order to provide future street connections to future residential subdivisions to the northeast of the subject property, the proposed CSM dedicates a 70-foot wide, 331-foot long segment of Coyote Run to the public. The proposed CSM also dedicates a 35-foot wide (1/2 right-of-way), 780-foot long segment of Deerfield Drive to the public, connecting the existing dead-end to Coyote Run. The proposed lots meet the minimum standards in the R-1A zoning district.
 - Although the proposed CSM dedicates additional right-of-way, the applicant is not proposing the construction of any additional infrastructure at this time. The existing street dead-ends will remain until future development occurs.
 - The four proposed lots will not be buildable, due to the lack of (actual) street frontage. Therefore, Planning staff and the Plan Commission recommended a condition of approval that requires the final CSM to label the lots as "out-lots," along with a note explaining that the lots will not become buildable until the dedicated streets are constructed.
 - The four proposed lots are currently used and assessed as farmland, which would complicate the assessment process if they were combined with the adjoining residential properties. Therefore, Planning staff and the Plan Commission recommended a condition of approval stating that all four out-lots cannot be combined with adjoining residential lots until the agricultural use is discontinued and the out-lots are converted to lawn. Accessory structures (garages, sheds, etc.) may only be constructed on the out-lots once they've been converted to lawn and combined.
 - In order to make the proposed lots buildable lots, the City Council would need to require the construction of all required infrastructure (curb & gutter, asphalt, water, sewer, etc.) as a condition of CSM approval.
 - The Plan Commission reviewed this item on November 5, 2014 and voted unanimously (7-0) to recommend approval of this CSM, subject to the three conditions recommended by the Planning & Building Services Division.
-

Consistency with Comprehensive Plan and Strategic Plan:

- The City's Comprehensive Plan recommends Single-Family Residential development of the subject property. This proposed land division is consistent with the Comprehensive Plan. Consideration of this request supports City of Beloit Strategic Goal #5.
-

Sustainability:

- **Reduce dependence upon fossil fuels** – N/A
 - **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – N/A
 - **Reduce dependence on activities that harm life sustaining eco-systems** – N/A
 - **Meet the hierarchy of present and future human needs fairly and efficiently** – N/A
-

Action required/Recommendation:

- City Council consideration and action on the proposed Resolution
-

Fiscal Note/Budget Impact: N/A

Attachments: Resolution and Staff Report to the Plan Commission

CITY OF BELOIT

REPORT TO THE BELOIT CITY PLAN COMMISSION

Meeting Date: November 5, 2014

Agenda Item: 3

File Number: CSM-2014-12

Applicant: R.H. Batterman & Co., Inc.

Owner: Acorn Development LLC

Location: 2600 Coyote Run

Existing Zoning: R-1A, Single-Family Residential District

Existing Land Use: Agricultural

Total Area: 5 Acres

Request Overview/Background Information:

R.H. Batterman & Co., Inc. has submitted an Application for the Review of a Minor Subdivision and a 4-Lot Certified Survey Map (CSM) for the property located at 2600 Coyote Run.

Key Issues:

- The intent of the proposed CSM is to subdivide this 5-acre parcel into four lots of various sizes to be purchased by the owners of adjoining single-family properties in Deerfield Estates and Deerfield Estates First Addition.
 - In order to provide future street connections to future residential subdivisions to the northeast of the subject property, the proposed CSM dedicates a 70-foot wide, 331-foot long segment of Coyote Run to the public. The proposed CSM also dedicates a 35-foot wide (1/2 right-of-way), 780-foot long segment of Deerfield Drive to the public, connecting the existing dead-end to Coyote Run. The proposed lots meet the minimum standards in the R-1A zoning district.
 - Although the proposed CSM dedicates additional right-of-way, the applicant is not proposing the construction of any additional infrastructure at this time. The existing street dead-ends will remain until future development occurs.
 - The four proposed lots will not be buildable, due to the lack of (actual) street frontage. Therefore, Planning staff will be recommending a condition of approval that requires the final CSM to label the lots as “out-lots,” along with a note explaining that the lots will not become buildable until the dedicated street segments are constructed and accepted.
 - The four proposed lots are currently used and assessed as farmland, which would complicate the assessment process if they were combined with the adjoining residential properties. Therefore, Planning staff is recommending a condition of approval stating that all four out-lots cannot be combined with adjoining residential lots until the agricultural use is discontinued and the out-lots are converted to lawn. Accessory structures (garages, sheds, etc.) may only be constructed on the out-lots once they’ve been converted to lawn and combined with an adjoining single-family lot.
 - In order to make the proposed lots buildable lots, the Plan Commission and City Council would need to require the construction of all required infrastructure (curb & gutter, asphalt, water, sewer, etc.) as a condition of CSM approval.
 - The City’s Review Agents have reviewed the proposed CSM and agree with the proposed conditions of approval.
-

Consistency with Comprehensive Plan and Strategic Plan:

The City’s Comprehensive Plan recommends Single-Family Residential development of the subject property. Consideration of this request supports City of Beloit Strategic Goal #5.

Sustainability:

- **Reduce dependence upon fossil fuels** – N/A
 - **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature** – N/A
 - **Reduce dependence on activities that harm life sustaining eco-systems** – N/A
 - **Meet the hierarchy of present and future human needs fairly and efficiently** – N/A
-

Staff Recommendation:

The Planning & Building Services Division recommends **approval** of the attached 4-Lot Certified Survey Map (CSM) for the property located at 2600 Coyote Run in the City of Beloit, subject to the following conditions:

1. The final CSM shall label the lots as “out-lots,” along with a note explaining that the lots will not become buildable until they are re-platted as regular lots and the dedicated street segments are fully constructed and accepted.
 2. Each out-lot cannot be combined with an adjoining residential lot until the agricultural use is discontinued and the out-lot is converted to lawn. Accessory buildings may only be constructed following this conversion & combination.
 3. The final CSM shall be recorded with the Rock County Register of Deeds by December 31, 2014.
-

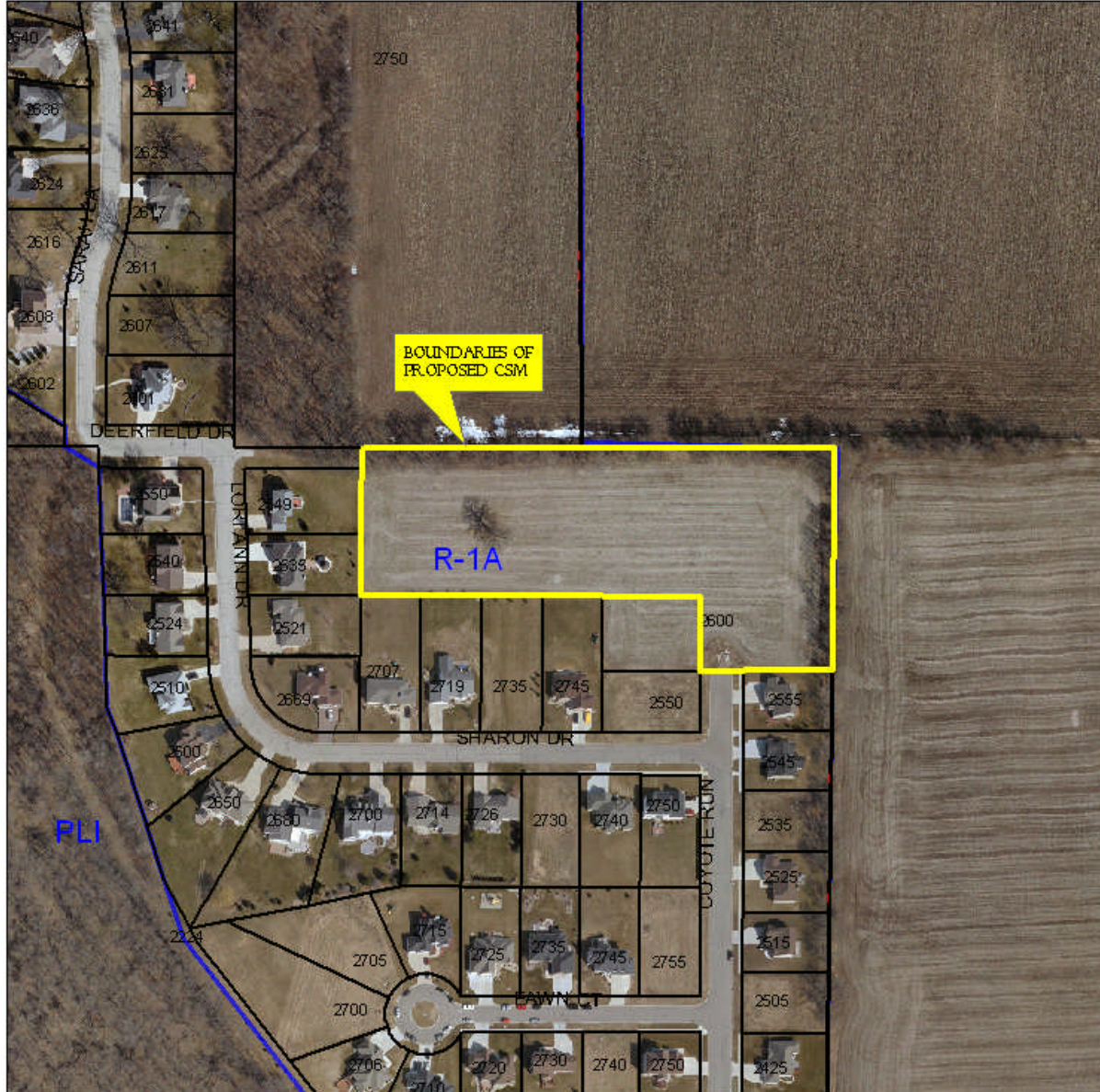
Fiscal Note/Budget Impact: N/A

Attachments: Location & Zoning Map, CSM, and Application.

Location & Zoning Map

2600 Coyote Run

CSM-2014-12



1 inch = 236 feet
0 45 90 180 270 Feet

Legend

- COB Parcels
- Zoning District

Map prepared by: Drew Pennington
Date: October 2014
For: City of Beloit Planning & Building Services
Date of Aerial Photography: March 2011

PLANNING & BUILDING SERVICES DIVISION

CERTIFIED SURVEY MAP OF

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP DOCUMENT NO. 999142 AS RECORDED IN VOLUME 12, PAGES 5-8 OF CERTIFIED SURVEY MAPS AS SITUATED IN PART OF LOT 3 OF MORGAN FARM SUBDIVISION BEING ALL A PART OF THE N.W. 1/4 OF THE N.W. 1/4 AND PART OF THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 20, T. 1 N., R. 13 E. OF THE FOURTH P.M., NOW CITY OF BELOIT, ROCK COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH STATUTE

State of Wisconsin) I, Robert Leuenberger, a Registered Land Surveyor, do hereby certify that I
County of Rock)^{ss.} have surveyed and mapped part of lot 1 of Certified Survey Map Document No. 999142 as recorded in volume 12, pages 5-8 of Certified Survey Maps as situated in part of lot 3 of Morgan Farm Subdivision being all a part of the N.W. 1/4 of the N.W. 1/4 and part of the N.E. 1/4 of the N.W. 1/4 of Section 20, T. 1 N., R. 13 E. of the Fourth P.M., now City of Beloit, Rock County, Wisconsin.

DESCRIBED AS FOLLOWS: Beginning at the North 1/4 corner of Section 20, aforesaid; thence North 89°53'28" West 659.55 feet along the North line of said N.W. 1/4 to the Northeast corner of said Lot 1 and the place of beginning; thence South 0°38'15" West 365.95 feet along the East line of said Lot 1 to the Northeast corner of Lot 20 of Deerfield Estates First Addition as platted and recorded; thence North 89°54'41" West 145.82 feet to the Northwest corner of said Lot 20; thence South 86°47'49 West 70.12 feet to the Northeast corner of Lot 19 of said First Addition; thence North 0°06'50" East 125.05 feet along the Northerly extension of Coyote Run to the intersection with the North line of said First Addition extended Easterly; thence North 89°53'14" West 562.78 feet along said Easterly extension and North line to the Southeast corner of Lot 15 of Deerfield Estates as platted and recorded; thence North 0°39'22" East 244.96 feet along the East line of Deerfield Estates aforesaid to the North line of said N.W. 1/4; thence South 89°53'28" East 779.62 feet to the place of beginning. Containing 4.99 acres more or less.

Subject to any easements, agreements, covenants or restrictions recorded or unrecorded.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division of that land. That I have made such survey and map by the direction of the Owner of said land, and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying and mapping the same. Given under my hand and seal, this 2nd day of October, 2014 at Beloit, Wisconsin.

Approved by the City Council of the City of Beloit,
this ____ day of _____, 2014.

By: _____

I hereby certify that the property taxes on the parent
parcel are current and have been paid as of
_____, 2014.

By: _____
Rock County Treasurer

ORDER NO. 31904
DATE: OCTOBER 2, 2014
FOR: ACORN DEVELOPMENT
SHEET 2 OF 3



CERTIFIED SURVEY MAP OF

BEING PART OF LOT 1 OF CERTIFIED SURVEY MAP DOCUMENT NO. 999142 AS RECORDED IN VOLUME 12, PAGES 5-8 OF CERTIFIED SURVEY MAPS AS SITUATED IN PART OF LOT 3 OF MORGAN FARM SUBDIVISION BEING ALL A PART OF THE N.W. 1/4 OF THE N.W. 1/4 AND PART OF THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 20, T. 1 N., R. 13 E. OF THE FOURTH P.M., NOW CITY OF BELOIT, ROCK COUNTY, WISCONSIN

OWNERS CERTIFICATE OF DEDICATION

Acorn Development, LLC, as Owner, does hereby certify that they caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Acorn Development, LLC does further certifies that this plat is required by Sections 236.10 or 236.12 to be submitted to the following for approval or objection: The City Council of the City of Beloit.

IN WITNESS WHEREOF, Acorn Development, LLC has caused these presents to be signed by Mike F. Slavish, this ____ day of _____, 2014.

Mike F. Slavish

State of Wisconsin) Personally came before me, this ____ day of _____, 2014,
County of Rock) ss. Mike F. Slavish of the above-named LLC, to me known to be the person who executed the foregoing instrument, and to me known to be such officer of said LLC, and acknowledged that he executed the foregoing instrument as such officer as the deed of such LLC, by its authority.

Notary Public, Rock County, Wisconsin

My Commission Expires: _____

DOCUMENT NO. _____ RECEIVED FOR RECORD THIS ____ DAY OF _____ A.D. 2014
AT _____ O'CLOCK ____M. AND RECORDED IN VOLUME _____, PAGES _____ OF
CERTIFIED SURVEY MAPS OF ROCK COUNTY, WISCONSIN.

REGISTER OF DEEDS

ORDER NO. 31904
DATE: OCTOBER 2, 2014
FOR: ACORN DEVELOPMENT
SHEET 3 OF 3

Batterman
engineers surveyors planners

2857 Bartells Drive Beloit, Wisconsin 53511
608.365.4464 www.rhbatterman.com



57 B.

City of Beloit

Neighborhood Planning Division

100 State Street, Beloit, WI 53511 Phone: (608) 364-6700 Fax: (608) 364-6609

Application for Review of a Minor Subdivision

(Please Type or Print)

File Number: CSM-2014-12

1. Address of property: 2600 Coyote Run
2. Tax Parcel Number(s): 2208 0600
3. Property is located in (circle one): City of Beloit or Town of: Turtle; Beloit; Rock or LaPrairie
In the nw Quarter of Section 20, Township 1 North, Range 13 East of the 4th P.M.
4. Owner of Record: Acorn Development LLC Phone: _____
PO Box 931 Beloit WI 53511
(Address) (City) (State) (Zip)
5. Surveyor's name: RH Batterman & Co., Inc. Phone: 365-4464
2857 Bartells Drive Beloit WI 53511
(Address) (City) (State) (Zip)
6. Number of new lots proposed with this land division is 4 lot(s).
7. Total area of land included in this map: 4.99 Acres
8. Total area of land remaining in parent parcel: NA
9. Is there a proposed dedication of any land to the City of Beloit? Yes
10. The present zoning classification of this property is: R1A
11. Is the proposed use permitted in this zoning district: Yes
12. **THE FOLLOWING ITEMS MAY NEED TO BE COMPLETED AND/OR ATTACHED:**
 - Site Assessment Checklist; is required if the total area of CSM is over 5 acres.
 - Pre-application meeting; pre-application meeting was held on 5-15-14
with City of Beloit Staff.
 - Developer's Statement; as required by section 12.02(7) of the Subdivision Ordinance.
 - Phase One Environmental Assessment; as per section 12.05(1)(c) of the Subdivision Ordinance.
 - Certified Survey Map: one copy as required by section 12.05(1) of the Subdivision Ordinance.

The applicant's signature below indicates the information contained in this application and on all accompanying documents is true and correct. The undersigned does hereby respectfully make application for and petition the City Plan Commission or City Council for approval of this Certified Survey Map for the purpose stated herein. The undersigned also agrees to abide by all applicable federal, state and local laws, rules, and regulations.

[Signature] / RH BATTERMAN / 10-2-14
(Signature of applicant) (Name of applicant) (Date)

This application must be submitted at least 21 days prior to the Plan Commission meeting date.

Review fee: <u>\$150 plus \$10 per lot</u> Amount Paid: <u>\$190.⁰⁰</u>
Scheduled meeting date: <u>Nov. 5, 2014</u>
Application accepted by: <u>[Signature]</u> Date: <u>10/3/14</u>

**RESOLUTION
AUTHORIZING FINAL PAYMENT OF
PUBLIC WORKS CONTRACT C13-15
UTE STANDPIPE REPAINTING**

WHEREAS, work under this contract has been completed satisfactorily and in conformance with the requirements of the contract, and

WHEREAS, this project provided a new exterior coat of paint to the city's watertower located on Ute Ct; and

WHEREAS, the City Engineer, Comptroller, and Attorney recommend final payment to the contractor, therefore

NOW, THEREFORE, BE IT RESOLVED, by the City of Beloit City Council that L.C. United Painting Co., Inc. be paid \$5,000.00 as final payment for the Public Works Contract C13-15, Ute Standpipe Repainting Street Resurfacing as recommended by the City Engineer.

Dated at Beloit, Wisconsin this 17th day of November 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF БЕЛОIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Final Payment for Contract C13-15, Ute Standpipe Repainting

Date: November 17, 2014

Presenter(s): Gregory Boysen

Department(s): Public Works/ Engineering

Overview/Background Information:

This project placed a new exterior coat of paint on the water tower located on Ute Ct

Key Issues (maximum of 5):

1. The requirements of the contract have been completed to the satisfaction of the City.
2. The awarded contract amount was \$ 219,000.00
Quantity increases and change orders \$ 0.00
Net payment due contractor \$ 5,000.00
3. The City Engineer, City Attorney, and Director of Accounting recommend that a final payment be made to Rock Road Companies, Inc. in the amount of \$5,000.00.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

1. **Develop a high quality community through the responsible stewardship and enhancement of City resources to further Beloit's resurgence as a gem of the Rock River Valley.**
 - This project will prolong the serviceable life of the water tower, which is a crucial component in providing potable water to the city's inhabitants and businesses.
2. **Proactively partner with individuals and businesses to promote a safe and healthy community, minimize personal injury, prevent loss of life and protect property and natural resources**
 - This project will provide several safety features for the people that will maintain and inspect the water tower

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- **Reduce dependence upon fossil fuels**
n/a
- **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature**
n/a
- **Reduce dependence on activities that harm life sustaining eco-systems**
n/a
- **Meet the hierarchy of present and future human needs fairly and efficiently**
- This project provided several safety features for people who will need to inspect and service the water tower. It also protects the steel structure from weathering, which will extend the serviceable life of the water tower.

If any of the four criteria are not applicable to your specific policy or program, an N/A should be entered in that space.

Action required/Recommendation:

Approval of the Resolution authorizing the Final Payment.

Fiscal Note/Budget Impact:

Adequate funding is available in the 2013 Capital Improvement Plan.

CITY OF BELOIT
DEPARTMENTAL CORRESPONDENCE

TO: Mike Flesch

FROM: Scott Schneider, Project Engineer

DATE: October 6, 2014

SUBJECT: Final Payment Contract C13-15
Ute Tower Repainting

The work on this project was completed on September 9, 2014. I have inspected the work and find it to be satisfactory and in compliance with the requirements of the contract. The contractor has asked for final payment. The project was inspected by city staff. The final payment quantities have been approved by the contractor.


The original contract amount was for \$219,000.00, and the final contract amount is \$219,000.00. Payments to date under this contract total \$214,000.00, and all lien waivers from suppliers on file.

Therefore, I recommend a final payment in the amount of \$5,000.00 be made to L. C. United Painting Co., Inc.

CITY OF BELOIT

DEPARTMENTAL CORRESPONDENCE

TO: Scott Schneider

FROM: Elizabeth A. Krueger 

DATE: October 27, 2014

SUBJECT: **Final Payment Public Works Contract C13-15**
L.C. United Painting Co., Inc.
Ute Standpipe Repainting & Upgrades

I have reviewed the materials you sent over for final payment approval on the above contract. Everything appears in order and you may process the matter in your normal fashion.

/tdh
encs.

**RESOLUTION
AUTHORIZING FINAL PAYMENT OF PUBLIC WORKS CONTRACT C14-06
Ritsher Sanitary Relay**

WHEREAS, work under this contract has been completed satisfactorily and in conformance with the requirements of the contract; and

WHEREAS, This project replaced failed sewer pipe in the 1000 block of Ritsher Street; and

WHEREAS, the city engineer, comptroller, and attorney recommend final payment to the contractor.

NOW, THEREFORE, BE IT RESOLVED, by the City of Beloit City Council that E & N Hughes Co. be paid \$2,368.56 as the final payment for Public Works Contract C14-06 Ritsher Sanitary Relay as recommended by the City Engineer.

Dated at Beloit, Wisconsin, this 17th day of November 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Final Payment for Contract C14-06, Ritscher Sanitary Relay

Date: November 17, 2014

Presenter(s): Gregory Boysen

Department(s): Public Works/ Engineering

Overview/Background Information:

This project replaced failed sewer pipe in the 1000 block of Ritscher Street.

Key Issues (maximum of 5):

1. The requirements of the contract have been completed to the satisfaction of the City.
2. The awarded contract amount was \$ 84,229.10
Quantity increases and change orders \$ 10,513.30
Net payment due contractor \$ 94,742.40
3. The City Engineer, City Attorney, and Director of Accounting recommend that a final payment be made to E & N Hughes Co. in the amount of \$2,368.56

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

1. **Develop a high quality community through the responsible stewardship and enhancement of City resources to further Beloit's resurgence as a gem of the Rock River Valley.**
 - This project preserves the quality of life in Beloit by maintaining the functionality of this sanitary sewer main while reducing its maintenance costs.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- **Reduce dependence upon fossil fuels**
The service period between cleanings is extended.
- **Reduce dependence on chemicals and other manufacturing substances that accumulate in nature**
n/a
- **Reduce dependence on activities that harm life sustaining eco-systems**
n/a
- **Meet the hierarchy of present and future human needs fairly and efficiently**
The improved sanitary sewer meets the present and future human needs by extending the life of the utility, and by reducing the frequency of required maintenance.

If any of the four criteria are not applicable to your specific policy or program, an N/A should be entered in that space.

Action required/Recommendation:

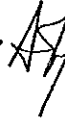
Approval of the Resolution authorizing the Final Payment.

Fiscal Note/Budget Impact:

Adequate funding is available in the 2014 Capital Improvement Plan.

CITY OF BELOIT
DEPARTMENTAL CORRESPONDENCE

TO: Mike Flesch

FROM: Andy Hill, Project Engineer 

DATE: October 28, 2014

SUBJECT: Final Payment Contract C14-06
Ritsher Sanitary Relay

The work on this project was completed on September 4, 2014. I have inspected the work and find it to be satisfactory and in compliance with the requirements of the contract. The contractor has asked for final payment. The project was inspected by city staff. The final payment quantities have been approved by the contractor.


The original contract amount was for \$84,229.10, and the final contract amount is \$94,742.40. The increase in cost was due the need to extend lateral pipes further toward the served parcels than was planned because the pipe settlement problem affected the lateral pipes too. A detailed variance report is attached. Payments to date under this contract total \$92,373.84, and all lien waivers from subcontractors are on file.

Therefore, I recommend a final payment in the amount of \$2,368.56 be made to E & N Hughes Co.

CITY OF BELOIT

DEPARTMENTAL CORRESPONDENCE

TO: Andy Hill, Project Engineer

FROM: Elizabeth A. Krueger, City Attorney 

DATE: November 6, 2014

SUBJECT: Final Payment Public Works Contract C14-06
E & N Hughes Co. Inc.
Ritsher Sanitary Relay

I have reviewed the materials you sent over for final payment approval on the above contract. Everything appears in order and you may process the matter in your normal fashion.

/tdh
encs.

ORDINANCE NO. _____

AN ORDINANCE TO AMEND VARIOUS SECTIONS OF 17.06 OF THE CODE OF GENERAL ORDINANCES OF THE CITY OF БЕЛОIT PERTAINING TO THE REGULATION OF SOLID WASTE.

The City Council of the City of Beloit, Rock County, Wisconsin, do ordain as follows:

Section 1. Section 17.06(2) of the Code of General Ordinances of the City of Beloit is hereby amended to include, in alphabetical order, the following additions and deletions to chapter definitions:

Bulky Materials. A solid waste items which ~~is are~~ too large to fit into a proper solid waste container ~~and exceeds 25 pounds~~. "Bulky materials" includes, but ~~is are~~ not limited to, glass mirrors, china hutches and buffets, counter-tops, cabinets, pool tables, game tables, work benches, couches, hide-a-beds, love seats, chairs, dressers, chests of drawers, toilets, cribs, doors, window frames, door frames, pianos, organs, liquor cabinets, desks, pinball machines, mattresses, box springs, entertainment centers, dog houses, wood fencing, lawn mowers (provided the gas tank and battery are removed), exercise equipment and windows.

Early Collection-Fee. ~~A fee charged for the collection of s~~ Solid waste that is placed curbside or streetside for collection before noon of the day preceding the day of collection ~~or. An "early collection fee" is also a fee charged for collection of solid waste that is not maintained in an orderly fashion when placed at curbside or streetside for collection in violation of subsection (14)(g) of this section. The "early collection fee" is in addition to any other applicable solid waste fee.~~

High Volume-Fee. ~~A fee charged by the City for collection of R~~ residential solid waste consisting of six (6) or more individual items of solid waste and/or solid waste containers which are placed for collection.

Other Paper. Magazines, paperback books, phone books, catalogs, junk mail, greeting cards and gift wrap.

Recyclables (Recyclable Material). Solid waste meeting preparation standards and for which there is a market and/or short-term storage facility available. It includes antifreeze, newspaper, other paper, boxboard, cardboard, glass container, metal can, plastic container, tire, waste oil, lead-acid battery, major appliance, electronic waste, and such other item as the City may, from time to time, designate as recyclable.

Solid Waste. Unwanted or discarded material in a solid or semisolid state, including, but not limited to, recyclable material, garbage, ashes, refuse, rubbish, yard wastes, white goods appliances and bulky materials home furniture and furnishings.

Yard Waste. Compostable materials, ~~and~~ brush and shrubbery.

Section 2. Section 17.06(5) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

- “(5) MANDATORY SEPARATION AND COLLECTION OF RECYCLABLES.
- (a) The City Council finds that it is appropriate to participate in an integrated waste reduction and mandatory recycling program in order to conserve available local landfill capacity. The City Council further finds that it is appropriate to participate in both local and statewide recycling programs in order to conserve energy, recycle valuable resources and protect the public health, welfare and the environment.
 - (b) ~~Effective January 1, 1995, a~~All persons who generate solid waste within the corporate limits of the City shall be required to separate recyclable material from all other solid waste.
 - (c) ~~Effective January 1, 1995, o~~wners of multi-family dwellings and nonresidential property shall be required to provide for the collection and proper disposal of solid waste and recyclable material.
 - (d) ~~Effective January 3, 1994, o~~ccupants of single family dwellings shall be required to use the collection and disposal services provided by the City and shall be required to prepare and place solid waste and recyclable materials for collection as required by this section.”

Section 3. Section 17.06(7)(a) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

- “(a) Except as provided below, the owner of premises containing a multi-family dwelling or an institutional, commercial, business, industrial or agricultural establishment producing solid waste within the City shall provide sufficient and adequate containers for the storage of all solid waste produced on the premises, except bulky materials, ~~white goods~~appliances, and ~~brush~~woody vegetation, and shall maintain such solid waste containers in good repair at all times. In single-family dwellings, the occupants of each dwelling unit shall be responsible for compliance with this paragraph. Each solid waste container, including containers for recyclables, shall bear the name of the container's owner and/or address, including apartment number or letter, if applicable.”

Section 4. Section 17.06(7)(b) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

- “(b) The occupants of every dwelling unit and every institutional, commercial, business, industrial or agricultural establishment shall place all solid waste in proper solid waste containers, except bulky materials, ~~white goods~~appliances and ~~brush~~yard waste, and shall maintain such solid waste containers and the area surrounding them in a clean, neat and sanitary condition at all times.”

Section 5. Section 17.06(7)(c) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

“(c) Solid waste, except bulky materials, white goods~~appliances~~ and brush~~yard waste~~, which is placed at curbside or streetside for regular municipal removal shall be stored in containers that have a capacity of not more than 39 gallons and that weigh not more than 60 pounds (container and contents combined). Nondisposable containers shall have at least one handle and a detachable lid. Disposable and nondisposable containers which leak, fall apart or spill contents when handled shall be removed and disposed of by the hauler.”

Section 6. Section 17.06(9)(i) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

“(i) White goods, bulky materials, solid waste items subject to a high volume collection fee and yard waste may be placed at curbside or streetside for collection. In the alternative, the owner of recyclable solid waste materials may bring the recyclable solid waste to the recycling drop-off center. ~~If solid waste materials are placed at curbside or streetside before noon of the day preceding the day of collection, the City may dispatch a truck for collection. The owner of the dwelling unit shall be billed an early collection fee in addition to any other applicable solid waste fee. The high volume fee, the early collection fee and the fees for removal of bulky materials, white goods and yard waste shall be determined by City Council resolution. If the owner of the premises defaults in payment of any solid waste fee, the fee shall be imposed as a special charge against the real property pursuant to §66.0627, Wis. Stats. If the special charge is not paid within the time specified in the notice to the landowner, the delinquent special charge shall be included in the current or next tax roll for collection and settlement under Ch. 74, Wis. Stats.~~”

Section 7. Section 17.06(24)(b) of the Code of General Ordinances of the City of Beloit is hereby amended to read as follows:

“(b) Persons and Property Subject to Solid Waste Collection Charge. The owner of every dwelling unit and the owner of every nonresidential tax parcel receiving curbside solid waste collection services from the City of Beloit, its employees, agents or contractors, shall be required to pay the solid waste fee established by this subsection. The curbside solid waste collection fee shall be paid by owners of tax-exempt properties as well as owners of taxable properties. If the sewer bill is in an occupant's name, the bill for solid waste collection services shall also be put in the occupant's name. However, the owner of the property shall be responsible for payment of the bill for each dwelling unit for solid waste collection services if the occupant fails to pay the same. The solid waste collection fee does not include the high volume fees or the fee for early collection, the collection of high volume items, bulky materials, white goods and yard waste.”

Section 8. Section 17.06(28) of the Code of General Ordinances of the City of Beloit is hereby created to read as follows:

“(28) FEES. Fees for collection of solid waste shall be established by City Council resolution. The imposition of one fee may not preclude the imposition of any other applicable solid waste fee. If the owner of the property defaults on payment of any solid waste fee, the fee shall be imposed as a special charge against real property pursuant to §66.0627, Wis. Stats. If the special charge is not paid within the time specified in the notice to the property owner, the delinquent special charge shall be entered on the tax roll for collection and settlement under Chapter 74, Wis. Stats.

- (a) Early Collection Fee. The City shall charge a fee for the collection of solid waste that is placed curbside or streetside for collection before noon of the day preceding the day of collection. If solid waste materials are placed at curbside or streetside before noon of the day preceding the day of collection, the City may dispatch a truck for collection. The owner of the dwelling unit shall be billed an early collection fee in addition to any other applicable solid waste fee. The City shall also charge a fee for the collection of solid waste that is not maintained in an orderly fashion when placed at curbside or streetside for collection in violation of subsection (14)(g) of this section.
- (b) High Volume Fee. The City shall charge a fee for the collection residential solid waste consisting of 6 or more individual items of solid waste and/or solid waste containers which are placed for collection.
- (c) Bulky Material Fee. The City shall charge a fee for the collection of a residential solid waste item which is too large to fit into a proper solid waste container and exceeds 25 pounds.
- (d) Yard Waste Fee. The City shall charge a fee for the collection of yard waste. A prepaid tag must be affixed on the item for collection, except during those times when the City designates that yard waste may be placed curbside or streetside without such tag affixed.
- (e) White Goods Fee. The City shall charge a fee for the collection of white goods.”

Section 9. This ordinance shall be in force and take effect upon passage and publication.

Adopted this _____ day of November, 2014.

BELOIT CITY COUNCIL

By: _____
Mark Spreitzer, President

ATTEST:

By: _____
Rebecca Houseman LeMire, City Clerk

PUBLISHED: _____
EFFECTIVE DATE: _____
01-611100-5231- _____

tdh/ordinances/17.06 = ORD 141024 (14-1204) 1700

CITY OF BELOIT



REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: Ordinance to amend various sections of 17.06 of the Code of General Ordinances pertaining to Solid Waste.

Date: November 17, 2014

Presenter(s): Gregory Boysen, Public Works Director

Department(s): Public Works/Operations

Overview/Background Information:

The Department of Public Works has undergone a review of section 17.06 of the Municipal Code relating to Solid Waste Management. Staff is requesting minor text amendments to various sections of the Solid Waste Collection ordinance.

Key Issues (maximum of 5):

1. The proposed ordinance contains updated language to provide greater clarification to chapter definitions and concepts.
 2. The proposed ordinance organizes all the various fees in one section of the ordinance.
 3. The fees will be set by council resolution.
-

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

Adoption of the amended ordinance would conform to the stated purpose of goal #1 in furthering the responsible stewardship and enhancement of City resources.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels
 - Reduce dependence on chemicals and other manufacturing substances that accumulate in nature
 - Reduce dependence on activities that harm life sustaining eco-systems
 - Meet the hierarchy of present and future human needs fairly and efficiently
-

Action required/Recommendation:

The ordinance has been reviewed by city staff and is recommended for approval.

Fiscal Note/Budget Impact:

20141024 1701

November 17, 2014

**APPOINTMENT REVIEW COMMITTEE
REPORT TO CITY COUNCIL
APPOINTMENT RECOMMENDATION**

The undersigned Mark Spreitzer, duly elected President of the Beloit City Council, subject to confirmation by the Beloit City Council, does hereby appoint the following citizen members to the vacancies and terms indicated below, said appointments being pursuant to nominations made and approved by the Appointment Review Committee at the regular meeting held November 10, 2014:

Mark Spreitzer, President
Beloit City Council

Appointments

Community Development Authority

Erin Moffitt, 1648 Prairie Ave. (replacing Nailah Adama) for a term ending December 31, 2016

Landmarks Commission

Incumbent **Ellen E. Joyce** for a term ending October 31, 2017

Stephen Truesdale, 726 Milwaukee Road (replacing Rick McGrath) for a term ending October 31, 2017

Municipal Golf Committee

Edwin Armstrong, 2945 S. Paddock Rd. (replacing Greg Madison) as the Men's Club Representative (Ex Officio member)

PLEASE ANNOUNCE THE FOLLOWING VACANCIES

Alcohol Beverage License Control Committee (1 vacancy for resident)

Appointment Review Committee (1 vacancy for resident)

Board of Appeals (1 vacancy [Alternate] for resident)

Board of Ethics (1 vacancy for former City Councilor, 3 vacancies for residents)

Board of Review (1 vacancy for resident; 2 vacancies [Alternate] for residents)

Business Improvement District (Downtown Beloit Association) (2 vacancies for Owner Occupant; 1 vacancy for Property Owner; 1 vacancy for Non-owner Occupant)

Community Development Authority (1 vacancy for Public Housing resident)

Equal Opportunities Commission (2 vacancies for residents)

Municipal Golf Committee (1 vacancy for resident)

Park, Recreation & Conservation Advisory Commission (1 vacancy for resident; 1 vacancy for Youth Representative)

Police and Fire Commission (1 vacancy – supplemental application required)

Traffic Review Committee (3 vacancies for residents)

**RESOLUTION AUTHORIZING PARTICIPATION IN
THE SECURITIES AND EXCHANGE COMMISSION'S
MUNICIPALITIES CONTINUING DISCLOSURE COOPERATION INITIATIVE**

WHEREAS, the City of Beloit (the "City"), as an issuer of municipal securities, is required by the U.S. Securities and Exchange Commission (the "SEC") to prepare Official Statements for offerings of municipal securities; and

WHEREAS, federal regulations requires underwriters to comply with certain requirements in connection with their purchase and sale of municipal securities in an offering, including that an underwriter must obtain and review a preliminary Official Statement and must determine that the municipal issuer has undertaken to provide, on a continuing basis while the securities are outstanding and in a written agreement ("Continuing Disclosure Agreement"), financial information including the issuer's audited financial statements, certain operating data, and notices of the occurrence of certain events; and

WHEREAS, federal regulations further require that Official Statements for offerings of municipal securities contain descriptions of any instances in the previous five years (from the date of the Official Statement) in which the issuer failed to comply, in all material respects, with any of its previous Continuing Disclosure Agreements; and

WHEREAS, the Division of Enforcement of the SEC (the "Division") has recently announced its *Municipalities Continuing Disclosure Cooperation Initiative* (the "MCDC Initiative") which is intended to address potential inaccuracies in descriptions of non-compliance by municipal issuers with their Continuing Disclosure Agreements; and

WHEREAS, in its announcement describing the MCDC Initiative, the Division states that issuers should consider self-reporting any known "material" misstatements to the Division to take advantage of standardized settlement terms under the MCDC Initiative, a copy of which is attached hereto and marked as Exhibit A; and

WHEREAS, the City is currently aware of four late filings of the City's financial reports related to Continuing Disclosure Agreements for the years 2005, 2010, 2011 and 2012; and

WHEREAS, the SEC has failed to provide municipalities with any guidance on whether not describing the late filing of such reports in an Official Statement would be considered a "material" misstatement under the law; and

WHEREAS, if the City elects to participate in the MCDC Initiative and the Division determines that not describing such late filings of financial reports related to Continuing Disclosure Agreements are "material" misstatements or if there are discovered other inaccuracies that would warrant enforcement, the standardized settlement terms will be substantially more favorable to the City than if the City chooses not participate; and

WHEREAS, out of an abundance of caution and in consultation with the City's financial and legal advisors, City staff has recommended to the City Council that the most prudent course of action is to participate in the MCDC Initiative, despite staff's belief that not describing the late filing of financial reports related to Continuing Disclosure Agreements is not a "material" misstatement under the law.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Beloit that the City Manager and/or the Finance and Administrative Services Director are hereby authorized to take whatever action is deemed necessary for the City to participate in the MCDC Initiative. Notwithstanding the foregoing, no participation under the MCDC Initiative shall be required if there occurs a change of law, a change to the MCDC Initiative, or a change regarding relevant facts and circumstances which the Finance and Administrative Services Director determines, on behalf of the City and with the advice of Counsel, would make such reporting unnecessary.

BE IT FURTHER RESOLVED that the City hereby adopts the attached *Continuing Disclosure Compliance Policy* (the "Policy") and the *Procedures Regarding Continuing Disclosure Compliance* ("Procedures") incorporated therein, which are attached hereto and marked as Exhibit B. Any prior policy or procedure relating to the City's continuing disclosure compliance that conflicts with the attached Policy and Procedures is hereby rescinded and replaced with such Policy and Procedures. The City's Finance and Administrative Services Director shall serve as the initial Compliance Officer for purposes of administering and carrying out the Procedures.

BE IT FURTHER RESOLVED that the City hereby authorizes the officers and agents of the City to enter into, on its behalf, agreements for professional services in conjunction with the City's participation in the MCDC Initiative, including but not limited to an agreement for legal services with Quarles & Brady LLP ("Counsel"). Any such agreement heretofore entered into is hereby ratified and approved in all respects.

Adopted, approved and recorded this 17th day of November, 2014.

Mark Spreitzer
Council President

ATTEST:

Rebecca Houseman LeMire
City Clerk

tdh/files/14-1234/MCDC Initiative =res= 20141111

EXHIBIT A

SECURITIES AND EXCHANGE COMMISSION
MUNICIPALITIES CONTINUING DISCLOSURE COOPERATION INITIATIVE
ANNOUNCEMENT

(See Attached)

EXHIBIT B

CONTINUING DISCLOSURE COMPLIANCE POLICY
AND
PROCEDURES REGARDING CONTINUING DISCLOSURE COMPLIANCE

(See Attached)

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Resolutions Authorizing City's Participation in the MCDC Initiative.

Date: November 17, 2014

Presenter(s): Eric R. Miller, Finance & Administrative Services Director **Department:** Finance

Overview/Background Information: The Municipalities Continuing Disclosure Cooperative Initiative (MCDC Initiative) is an initiative recently announced by the Division of Enforcement of the U.S. Securities and Exchange Commission. The MCDC Initiative is meant to address potential noncompliance by municipal issuers and underwriters regarding their continuing disclosure agreements and allows them to self-report any known "material" misstatements to take advantage of standard settlement terms. Rule 15c2-12 of the Securities Exchange Act of 1934 requires issuers to provide financial information including audited financial statements, certain operating data, and notices of occurrence of certain events as part of their continuing disclosure agreements. The City is aware of four late filings of the City's financial reports for the years 2005, 2010, 2011, and 2012. The SEC has failed to provide any guidance on whether the late filings of such reports are considered to be a "material" misstatement under the MCDC Initiative. Out of abundance of caution and after consulting with the City's financial and legal advisors, Ehlers and Quarles & Brady respectively, it is desirable and in the best interest of the City to participate in the MCDC Initiative, despite belief that the late filings are not "material" misstatements under the law.

Key Issues (maximum of 5):

1. Municipal issuers are required to file financial information annually as part of their continuing disclosure agreements.
2. The City of Beloit has filed accurate financial reports every year, however, the 2005, 2010, 2011, and 2012 financial reports were not filed on time.
3. The MCDC Initiative was introduced to address potential noncompliance by municipal issuers who failed to disclose "material" misstatements in their Official Statements.
4. The SEC has not provided any guidance as to what is considered "material" under the law and will only make that determination after evaluating the report once it's submitted.
5. City staff, as well as their financial and legal advisors, does not believe that the late filings constitute a "material" misstatement, yet out of abundance of caution, staff recommends participation in the MCDC Initiative.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

Sustainability (Briefly comment on the sustainable long-term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels N/A
- Reduce dependence on chemicals and other manufacturing substances that accumulate in nature N/A
- Reduce dependence on activities that harm life sustaining eco-systems N/A
- Meet the hierarchy of present and future human needs fairly and efficiently N/A

Action required/Recommendation:

Staff recommends adoption of the resolution authorizing participation in the MCDC Initiative.

Fiscal Note/Budget Impact:

The cost for bond counsel to review all Official Statements, help prepare appropriate resolutions, assist in completion of the MCDC Questionnaire, prepare cover letter and report, and provide both the continuing disclosure policy and procedure is \$11,000 which will spread out among several different funds.

**RESOLUTION DECLARING OFFICIAL INTENT
TO REIMBURSE EXPENDITURES
FROM PROCEEDS OF BORROWING**

WHEREAS, the City of Beloit, Rock County, Wisconsin plans to undertake capital projects hereinafter (the "Projects") approved by the City Council in the 2015 Capital Improvements Budget, as follows:

Project Title	GO Debt
TERRACE TREE PLANTING	\$100,000
SIDEWALK IMPROVEMENTS	20,000
STREET MAINTENANCE	1,300,000
INMAN PKWY EXTENSION: PRAIRIE AVE - SHOPIERE RD	426,500
BAYLISS AVE. REHAB: GLEN - PARK	130,800
EAST SIDE NEIGHBORHOOD INITIATIVE STREETS	33,000
BIG HILL CENTER ACQUISITION	125,000
BIG HILL PARK PEDESTRIAN BRIDGE-BIKE TRAIL	98,160
PARK FACILITIES & AMENITIES ENHANCEMENT	160,000
RECREATION FACILITY ENHANCEMENTS	52,100
PARKS PARKING LOTS	35,000
LEESON BRIDGE STABILIZATION	20,000
SALT SHED ROOF REPLACEMENT	27,783
SELF CONTAINED BREATHING APPARATUS	200,000
THERMAL IMAGING CAMERAS	36,000
PATROL RIFLES & ACCESSORIES REPLACEMENT	35,000
AMBULANCE REPLACEMENT #6209	130,000
SPECIALTY VEHICLE REPLACEMENT (EVIDENCE UNIT)	50,000
EMULSION STORAGE TANK	50,000
NEW VOTING EQUIPMENT	72,400
PROPERTY ACQUISITION & DEMOLITION	200,000
KRUEGER GOLF COURSE	30,000
CEMETERY REPAIRS	10,000
Total	<u><u>\$3,341,743</u></u>

WHEREAS, the City of Beloit expects to finance the Projects on a long-term basis by issuing tax-exempt bonds or other tax-exempt obligations (collectively, the "Bonds"); and

WHEREAS, because the Bonds may not be issued prior to commencement of the Projects, the Issuer must provide interim financing to cover costs of the Projects incurred prior to receipt of the proceeds of the Bonds; and

WHEREAS, the City Council deems it to be necessary, desirable, and in the best interests of the City to advance moneys from its funds on hand on an interim basis to pay the costs of the Projects until the Bonds are issued.

NOW, THEREFORE, BE IT RESOLVED by the City Council for the City of Beloit, Wisconsin that;

Section 1. Expenditure of Funds. The City of Beloit shall make expenditures as needed from its funds on hand to pay the cost of the Projects until proceeds of the Bonds become available.

Section 2. Declaration of Official Intent. The City of Beloit hereby officially declares its intent under Treas. Reg. Section 1.150-2 to reimburse said expenditures with proceeds of the Bonds, the principal amount of which is not expected to exceed \$3,750,000 including estimated cost of issuance.

Section 3. Unavailability of Long-Term Funds. No funds for payment of the Projects from sources other than the Bonds are, or are reasonably expected to be, reserved, allocated on a long-term basis, or otherwise set aside by the City pursuant to its budget or financial policies.

Section 4. Public Availability of Official Intent Resolution. The Resolution shall be made available for public inspection at the office of the City Clerk within 30 days after its approval in compliance with the applicable state law governing the availability of records of official acts including Subchapter II of Chapter 19, Wisconsin Statutes, and shall remain available for public inspection until the Bonds are issued.

Section 5. Effective Date. This Resolution shall be effective upon its adoption and approval.

Dated at Beloit, Wisconsin this 17th day of November, 2014.

BELOIT CITY COUNCIL

Mark Spreitzer, President

ATTEST:

Rebecca Houseman LeMire, City Clerk

CITY OF БЕЛОIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Resolution Declaring Intent to Reimburse Expenditures from Bond Proceeds

Date: November 17, 2014

Presenter(s): Eric R. Miller, Finance and Administrative Services Director

Department(s): Finance

Overview/Background Information: Each year as part of the city's budget and capital project planning process, staff evaluates scheduled capital improvement projects included in the Capital Budget and CIP to determine those that are eligible and require debt financing as a funding source for project completion. For those projects included in the adopted 2015 Capital Budget, the plan was to issue approximately \$3.4 million in General Obligation debt. A list of the capital projects scheduled for 2015 bond financing is included in the Declaration of Intent Resolution. U. S. Treasury Regulations Section 1.150-2 requires the city to declare its official intent to reimburse any advanced payments of project expenditures from the bond proceeds. The Council must make this declaration by resolution.

Key Issues (maximum of 5):

1. As part of the approved 2015 Capital Budget and CIP, debt financing is required to fund scheduled capital improvement projects.
2. To reimburse project expenditures incurred prior to completion of the bond financing requires a formal declaration of intent to reimburse as required by U. S. Treas. Regs. 1.150-2.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

The 2014 bond financings will satisfy four of the five key goals contained in the city's Strategic Plan.

1. As an eco-municipality, focus on the sustainable stewardship of City resources, services and infrastructure; to protect both our built and natural environment and enhance the quality of life for current and future generations.
2. Proactively partner with individuals and businesses to promote a safe and healthy community, minimize personal injury, prevent loss of life and protect property and natural resources.
3. Communicate and partner with other jurisdictions and organizations to coordinate effective and efficient service delivery and stimulate regional prosperity.
4. Apply sound, sustainable practices to promote a high quality community through historic preservation, community revitalization and new development.

Sustainability (Briefly comment on the sustainable long-term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels N/A
- Reduce dependence on chemicals and other manufacturing substances that accumulate in nature N/A
- Reduce dependence on activities that harm life sustaining eco-systems N/A
- Meet the hierarchy of present and future human needs fairly and efficiently N/A

If any of the four criteria are not applicable to your specific policy or program, an N/A should be entered in that space.

Action required/Recommendation:

Staff recommends Council adoption of the Resolution in order to comply with U.S. Treasury Regulations related to the issuance of tax exempt debt.

Fiscal Note/Budget Impact:

There is no fiscal impact associated with this action. This resolution does not obligate the city to issue debt or proceed with the sale of any debt instruments.

**RESOLUTION APPROVING A SECOND AMENDMENT TO AN
EQUIPMENT LOCATION LEASE WITH NEW CINGULAR WIRELESS PCS, LLC
FOR SPACE ON WATER TOWER SITE AT 138 MILL STREET**

WHEREAS, New Cingular Wireless PCS, LLC (hereinafter “Lessee”) has an Equipment Location Lease for space on the Mill Street Water Tower; and

WHEREAS, the Lessee has approached the City requesting to upgrade current equipment and install additional equipment on the Tower; and

WHEREAS, the City staff has reviewed the site plans and the site plans are acceptable; and

WHEREAS, the Lessee has agreed to pay the City an additional \$300 per month for the additional space requested; and

WHEREAS, during negotiations it was learned that the Lessee has mistakenly overpaid rent from 2007 to present and the Lessee has agreed to resolve the issue of the overpayment of rent by accepting a monthly rent credit over the duration of the lease; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Beloit, Rock County, Wisconsin, finds that the proposed lease amendment is in the best interest of the City of Beloit and the City Manager is hereby authorized to execute the attached Second Amendment to the Equipment Location Lease and to do such other and further things necessary to fully implement the lease agreement.

Adopted this 17th day of November, 2014.

City Council of the City of Beloit

Mark Spreitzer, President

Attest:

Rebecca Houseman LeMire, City Clerk

tdh\resolution\Second Amendment Mill Street=res=141108 (03-1237)

CITY OF БЕЛОIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Second Amendment to Equipment Location Lease – New Cingular (Mill Street Tower)

Date: November 17, 2014

Presenter(s): Elizabeth A. Krueger

Department(s): City Attorney

Overview/Background Information:

In 2002, Wisconsin Power and Light and New Cingular Wireless PCS, LLC entered into a lease for space on the Mill Street Water Tower. The City assumed Wisconsin Power and Lights' interest in the lease in 2003. In 2005, the City and New Cingular entered into a First Amendment to Equipment Location Lease that modified the terms of the original lease, including a modification to the rent payment in exchange for extending the terms of the 2002 lease.

New Cingular recently approached the City of Beloit requesting to add additional equipment to the water tower in exchange for an increase in rent of \$300 per month. Staff has reviewed the site plans and staff has determined that the plans and proposed rent are acceptable and recommended for approval.

During negotiations it was discovered that New Cingular had been overpaying rent since the beginning of the first renewal period. New Cingular has agreed to a rent credit for the overpayment over the duration of the lease. The increased rent and the credit for the overpayment of rent have been outlined in the terms of the Second Amendment.

Key Issues (maximum of 5):

1. New Cingular has a current lease for the location of cellular equipment on the Mill Street Water Tower.
2. New Cingular wishes to upgrade its equipment and add additional equipment.
3. New Cingular has agreed to an increase of rent of \$300/month.
4. New Cingular has overpaid rent for a number of years and has accepted a rent credit over the duration of the lease to resolve the issue of the overpayment.
5. The new rent schedule shall be \$1,940/month for the 2nd Renewal Period, \$2,409/month for the 3rd Renewal Period, and \$2,995/month for the 4th Renewal Period.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

Approval of this lease amendment would conform with Goal #1's stated purpose of developing a high quality community through the responsible stewardship and enhancement of City resources.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels N/A
- Reduce dependence on chemicals and other manufacturing substances that accumulate in nature N/A
- Reduce dependence on activities that harm life sustaining eco-systems N/A
- Meet the hierarchy of present and future human needs fairly and efficiently N/A

If any of the four criteria are not applicable to your specific policy or program, an N/A should be entered in that space.

Action required/Recommendation:

Recommendation to Council to approve resolution authorizing City Manager to enter the Second Amendment to Equipment Location Lease.

Fiscal Note/Budget Impact:

Additional \$300/month rent for the duration of the Lease Agreement.

Attachments: Second Amendment to Equipment Location Lease

SECOND AMENDMENT TO EQUIPMENT LOCATION LEASE

THIS Second Amendment To Equipment Location Lease (hereinafter "Second Amendment"), dated as of the latter of the signature dates below, is by and between the City of Beloit, a Wisconsin municipal corporation, having a mailing address of 100 State Street, Beloit, WI 53511, successor in interest to Wisconsin Power and Light, (hereinafter "Lessor") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive NE, Atlanta, GA 30324 (hereinafter "Lessee").

WHEREAS, Lessor and Lessee entered into an Equipment Location Lease dated July 25, 2002 (hereinafter "Lease"), whereby Lessor leased to Lessee certain premises, therein described, that are a portion of the property located at 138 Mill Street, Beloit, Wisconsin; and

WHEREAS, Lessor and Lessee modified certain sections of said Lease pursuant to a Beloit City Council Resolution dated November 21, 2005 (hereinafter "First Amendment"); and

WHEREAS, Lessor and Lessee desire to amend the Lease and the First Amendment to permit Lessee to add, modify and/or replace equipment; and

WHEREAS, Lessor and Lessee desire to amend the Lease and the First Amendment to increase monthly rent to accommodate for additional equipment; and

WHEREAS, Lessee has made payments from 2007 to present that did not take into account the adjustments made by the First Amendment and has resulted in an overpayment of \$35,632.00; and

WHEREAS, Lessor and Lessee agree that the overpayment of rent shall be refunded as a credit towards future rent payments over the balance of the term of the Lease and any Renewal Term thereof.

NOW, THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Lessor and Lessee agree as follows:

1. **Equipment.** Lessee shall have the right to change, modify or relocate its equipment as more completely described in the attached Exhibit C-1. Exhibit C-1 hereby replaces Exhibit C and D of the Lease.

2. **Rent.**

a. Commencing on the first day of the month following the date that Lessee commences construction of the modifications set forth in this Second Amendment, rent shall be increased by \$300.00 per month, subject to further adjustments as provided in the Lease and First Amendment.

b. A credit of \$235.00 per month shall be applied to all payments beginning with the payment due November 25, 2014.

Market: Central-IL\WI
Cell Site Number: WI0032
Cell Site Name: Beloit
Fixed Asset Number: 10012015

c. The schedule for rent payments shall be as follows:

<u>Term</u>	<u>Dates</u>	<u>Current Rent Schedule</u>	<u>Additional Equipment Rent</u>	<u>Overpayment Rent Credit</u>	<u>Rent Payment beginning 11/25/2014</u>
2 nd Renewal Term	07/25/2012-07/24/2017	\$1875	\$300	\$235	\$1940
3 rd Renewal Term	07/25/2017-07/24/2022	\$2344	\$300	\$235	\$2409
4 th Renewal Term	07/25/2022-07/24/2027	\$2930	\$300	\$235	\$2995

d. If the Lease is terminated prior to the amount of overpaid rent being fully credited to the Lessee, the balance of any remaining overpayment shall be refunded to the Lessee within 60 days of the termination date.

3. **Notice.** Lessee's notice address shall hereby be amended as follows:

If to Lessee: New Cingular Wireless PCS, LLC
Attn: Network Real Estate Administration
Re: Cell Site#: WI0032; Cell Site Name: Beloit
Fixed Asset No: 10012015
Suite 13-F West Tower
575 Morosgo Drive NE
Atlanta, GA 30324

With a copy to: New Cingular Wireless PCS, LLC
Attn: Legal Department
Re: Cell Site#: WI0032; Cell Site Name: Beloit
Fixed Asset No: 10012015
208 S. Akard Street
Dallas, TX 75202-4206

If to the Lessor: City Manager
City of Beloit
100 State Street
Beloit, WI 53511

With a copy to: City Attorney
City of Beloit
100 State Street
Beloit, WI 53511

4. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Lease, the First Amendment and this Second Amendment, the terms of this Second Amendment shall control. Except as expressly set forth in this Second Amendment, the Lease, including the First Amendment, is otherwise unmodified and remains in full force and effect. Each reference in the Lease to itself shall be deemed also to refer to the First Amendment and this Second Amendment.

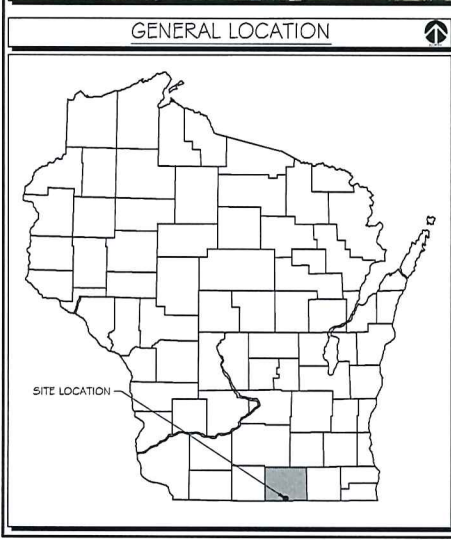
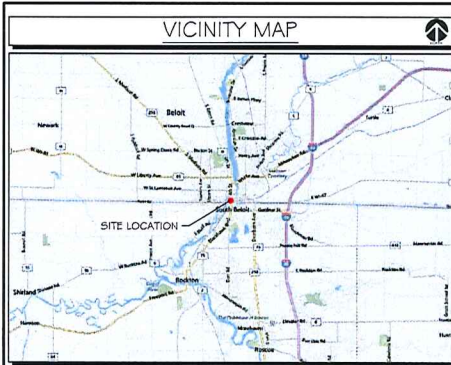
Market: Central-IL\WI
Cell Site Number: WI0032
Cell Site Name: Beloit
Fixed Asset Number: 10012015

LESSOR ACKNOWLEDGMENT

STATE OF WISCONSIN)
) SS
COUNTY OF ROCK)

I certify that on _____, 2014, Larry N. Arft and Rebecca Houseman LeMire personally came before me and acknowledged under oath that he or she is the City Manager and the City Clerk of the City of Beloit, the Lessor named in the attached instrument. They further acknowledge that they are authorized to execute this instrument on behalf of the City and executed the instrument as the act of the City.

Elizabeth A. Krueger
Notary Public, Rock County, Wisconsin
My commission is permanent



2014 LTE 1C PROJECT



SITE NAME: БЕЛОIT
 SITE NUMBER: W10032
 AT&T FA NUMBER: 10012015
 PTN #: 3351348625

138 MILL STREET
 БЕЛОIT, WI 53511

1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinske 3/28/2014
 Date: 3/28/2014

NOTE:

THESE DRAWINGS ARE PREPARED BASED ON RFDS INFORMATION DATED 12/31/2013, REVISED V1.0.
 GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF RFDS WITH "GOODMAN NETWORKS" PRIOR TO CONSTRUCTION.

SCOPE OF WORK:

INSTALL ONE LTE AIR ANTENNA (KRC 115 045/1) WITH ONE 700 KRLUS-11 PER SECTOR, ONE GGO1 WITH ONE DUL & INSTALL 2 DC POWER CABLE & 1 FIBER CABLE BUNDLE WITH DEMARCATION BOX AT POS-2 FOR LTE 1C. ALSO INSTALL 2ND AIR ANTENNA FOR LTE FUTURE AT POS-3 IN ALL SECTOR 5AO ONLY.

APPLICABLE BUILDING CODE & STANDARDS

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL COVERING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE 2009 WITH WISCONSIN AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE
- TELECOMMUNICATIONS INDUSTRY (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER & ANTENNA SUPPORTING STRUCTURES
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.
- CITY/COUNTY ORDINANCES AND LOCAL BUILDING CODE

DO NOT SCALE DRAWINGS:
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK, OR BE RESPONSIBLE FOR SAME.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE 811 OR 1-800-242-8511
 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

DRIVING DIRECTIONS:

FROM OHARE INTERNATIONAL AIRPORT, CHICAGO, IL:
 DEPART I-90 E TOWARD I-90 E/ KENNEDY EXPY E. AT EXIT 1C, TAKE RAMP RIGHT FOR I-90 WEST TOWARD ROCKFORD. KEEP STRAIGHT ONTO I-39 N I-90 W/ US-51 N/ JANE ADDAMS MEMORIAL TOLLWAY. AT EXIT 1, TAKE RAMP RIGHT FOR US-51 NORTH/ IL-75 WEST TOWARD SOUTH БЕЛОIT. TURN LEFT ONTO IL-75 W. ROAD NAME CHANGES TO US-51 N/ IL-75 W. KEEP STRAIGHT ONTO IL-75/ GARDNER ST. TURN RIGHT ONTO IL-2/ BLACKHAWK BLVD. ROAD NAME CHANGES TO WI-213/ STATE STREET. TURN LEFT ONTO SHIRLAND AVE. TURN RIGHT ONTO MILL ST. DESTINATION WILL BE AHEAD.

CONSTRUCTION DRAWINGS

SHEET INDEX

GENERAL:	
T-1	TITLE SHEET
NOTES:	
N-1	NOTES
N-2	NOTES
N-3	NOTES
SITE:	
A-1	SITE PLAN
A-2	EQUIPMENT LAYOUT
A-3	ELEVATION & ANTENNA PLANS
A-4	COAX COLOR CODING
A-5	ANTENNA DETAILS
A-6	FIBER, COLOR CODING & NUMBERING
GROUNDING:	
E-1	UTILITY NOTES
E-2	UTILITY & GROUNDING DETAILS

PROJECT INFORMATION

APPLICANT ID: SITE NAME: БЕЛОIT SITE #: W10032 FA #: 10012015	APPLICANT: БЕЛОIT WATER UTILITY 2400 SPRINGBROOK COURT БЕЛОIT, WI 53511 PH.: (608) 364-5735
TOWER OWNER: БЕЛОIT WATER UTILITY 2400 SPRINGBROOK COURT БЕЛОIT, WI 53511 PH.: (608) 364-5735	PLANS PREPARED BY: RAMAKER & ASSOCIATES, INC. 1120 DALLAS STREET SAUK CITY, WI 53583 CONTACT: JASON FRAZIER, PROJECT MANAGER PH.: (608) 643-4100 FAX: (608) 643-7999 EMAIL: jfrazier@ramaker.com
SITE ADDRESS: 138 MILL STREET БЕЛОIT, WI 53511 ROCK COUNTY	
SITE DATA: LATITUDE: 42°-29'-50.71" N (42.49742°) LONGITUDE: 89°-02'-18.20" W (-89.03839°) GROUND ELEVATION: ±742 FT AMSL	
POWER COMPANY: ALLIANT ENERGY PH.: (800) 255-4268	
TELEPHONE COMPANY: AT&T PH.: (800) 288-2020	

0	03-26-14	FINAL CDs ISSUED
B	01-21-14	APPLICANT ID REV, PRELIMINARY CDs ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE PHASE	PRELIMINARY	DATE ISSUED 01/08/2014
PROJECT TITLE:	БЕЛОIT W10032 FA ID #: 10012015	
PROJECT INFORMATION:	138 MILL STREET БЕЛОIT, WI 53511 ROCK COUNTY	
SHEET TITLE:	TITLE SHEET	
SCALE:	NONE	
PROJECT NUMBER:	26909	
SHEET NUMBER:	T-1	

11/26/2009 9:09:00 AM D:\Telcom\At&T\CD\Construction Drawings\26909\11E CD.dwg Printed by: adhdhgh on Mar 28, 2014 - 8:55 am

GENERAL
THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS
SECTION 01700 - PROJECT CLOSEOUT

PART 1 - GENERAL

- OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES
- SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING
- COMPLETE FINAL CLEAN UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING, TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARKED EXPOSED FINISHES.

PART 2 - FINAL CLEANING

- COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.
 - CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES, SWEEP PAVED AREAS BROOM CLEAN, REMOVE PETRO-CHEMICAL SPLITS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN TEXTURED SURFACE.
 - REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE.
 - REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURE.
 - CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES, AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
 - REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.
 - REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
 - TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARKED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
 - LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
 - DUST-OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT ENCLOSURE.
 - WASH AND WAX FLOOR WITHIN EQUIPMENT ENCLOSURE.
- REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK
SECTION 02200 - EARTHWORK AND DRAINAGE

PART 1 - GENERAL

- WORK INCLUDED: SEE SITE PLAN.
- DESCRIPTIONS
LEASE AREA, AND IF APPLICABLE ACCESS DRIVE / TURNAROUND AREA, AND UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
- QUALITY ASSURANCE
A. APPLY SOIL STABILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
- SEQUENCING
A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.

- BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
- APPLY SOIL STABILIZER PRIOR TO PLACING BASE MATERIALS.
- GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
- REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
- AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STABILIZER TO STONE SURFACES.

PART 2 - PRODUCTS

- MATERIALS
A. SOIL STABILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID; TOTAL KILL (PRODUCT 910) - EPA 10292-7 PHASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 563-5000 AMBUSHERBICIDE - EPA REGISTERED FRAMAR INDUSTRIAL PRODUCTS 1435 MORRIS AVE. UNION, MI 07083 (600) 526-4924
B. ROAD AND SITE MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS FILL MATERIAL (UNLESS OTHERWISE NOTED) - ACCEPTABLE SELECT FILL SHALL STANDARD SPECIFICATIONS... BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION.
C. SOIL STABILIZER FABRIC SHALL BE MIRAFI - SOOX.

PART 3 - EXECUTION

- INSPECTIONS
LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
- PREPARATION
A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURN-AROUND AND UNDER GROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY CARRIER, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
- INSTALLATION
A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
C. BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
H. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.
I. APPLY RIPRAP TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
J. APPLY RIPRAP TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
K. RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CURVE OPENINGS.
L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIP RAPPED.
M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE FLAGGED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
N. IN DITCHES WITH SLOPES GREATER THAN 10%, MAJND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES, POSITION THE HEADWALL AT AN ANGLE NO GREATER THAT GO' OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS

- WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
- APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
 - SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
 - ENSURE GROWTH OF SEED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.
 - FIELD QUALITY CONTROL
COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.
 - PROTECTION
A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" X 2" X 4'-0" WOODEN STAKES EXTENDING TWO- FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS, WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

SECTION 02830 - FENCING AND GATE(S)

PART 1 - GENERAL

- WORK INCLUDED
SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).
- QUALITY ASSURANCE
ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 1.2 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE 2" ZINC, 1.8 OUNCES PER SQUARE FOOT.
- SEQUENCING
IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.
- SUBMITTALS
A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

- FENCE MATERIAL
A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
B. FABRIC SHALL BE SEVEN-FOOT HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.1483) WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12- 1/2 GAUGE TWISTED WIRE, WITH 1 1/4 GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE-INCH CENTERS.
D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-126 AND OF THE FOLLOWING DIAMETER LINE 2" SCHEDULE 40 (2.380" O.D.) GATE 3" SCHEDULE 40 (3.120" O.D.) CORNER 3" SCHEDULE 40 (3.120" O.D.)
E. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
F. ALL TOP AND BRACE RAILS SHALL BE 1" DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE.
G. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
I. GATE HINGES SHALL BE MERCHANTS METAL MODEL G4326 HINGE ADAPTER WITH MODEL 6409, 180-DEGREE ATTACHMENT.
J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL.
K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE

- INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
- ALL STOPS SHALL HAVE KEYPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION.
- A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
- A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
- STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
- ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.
- ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
- OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO THE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
- BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
- BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
- ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
- WHERE THE USE OF CONCERTRU HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G6P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX (6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

- INSPECTION
TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.
- INSTALLATION
A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST.
B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ONE QUARTER (1/4) INCH
C. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN(15) INCH INTERVALS.
D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
E. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH THE CLIPS AT TWO (2) FOOT INTERVALS.
F. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN THE CHAIN LINK FABRIC AND THE FINAL GRADE.
G. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
H. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
I. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.
- PROTECTION
UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAIN FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS

- ASTM-A120 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
- ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
- ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
- ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
- ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
- ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS. ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON1 STEEL SHEET AND STRIP. STRUCTURAL QUALITY.
- ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.
- FEDERAL SPECIFICATION RR-F-191 - FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)

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Continuation Sheet
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



3/28/2014
Date:

0	03-28-14	FINAL CD'S ISSUED
B	01-21-14	APPLICANT ID REV, PRELIMINARY CD'S ISSUED
A	01-06-14	PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	DATE	DATE
PRELIMINARY	01/06/2014	ISSUED
PROJECT TITLE:	BELOIT W10032	
FA ID #:	10012015	
PROJECT INFORMATION:	136 MILL STREET BELOIT, WI 53511 ROCK COUNTY	
SHEET TITLE:	NOTES	
SCALE:	NONE	
PROJECT NUMBER:	26909	
SHEET NUMBER:	N-1	

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DIVISION 3: CONCRETE
SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS

- PART 1 - GENERAL**
- WORK INCLUDED FORM WORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.
 - INSPECTIONS
 - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.
 - ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE CARRIER CONSTRUCTION MANAGER, OR THEIR DESIGNEE, PRIOR TO PLACEMENT OF CONCRETE.
 - THE CARRIER CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
 - QUALITY ASSURANCE
 - CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
 - PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
 - PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-R0.
 - OPEN FUNDATION TRENCHES SHALL BE INSPECTED BY MES PRIOR TO CONCRETE INSTALLATION.
 - SUBMITTALS SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY CARRIER CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUE LINE DRAWINGS FOR REINFORCING STEEL.

DIVISION 5: METALS
SECTION 05000 - METALS

- PART 1 - GENERAL**
- SECTION INCLUDES: STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS AND GROUTING UNDER BASE PLATES.
 - SUBMITTALS SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS, LOADS, AND WELDED SECTIONS.
 - QUALITY ASSURANCE
 - FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
 - PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

- REINFORCEMENT MATERIALS
 - REINFORCEMENT STEEL, ASTM A615, 60 ksi YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.
 - WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE, IN PLAT SHEETS, PLAIN FINISH.
 - CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS, SIZED AND SHAPED FOR SUPPORTS OF REINFORCING.
 - FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184
- CONCRETE MATERIALS
 - CEMENT: ASTM C150, PORTLAND TYPE
 - FINE AND COARSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED ONE (1) INCH SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
 - WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE
 - AIR ENTRAINING ADMIXTURE: ASTM C260
 - BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.
 - NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS.
- CONCRETE MIX
 - CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
 - MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
 - PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:
 - COMPRESSIVE STRENGTH: 4000 psi AT 7 DAYS.
 - SUMP: 3 INCHES

PART 2 - PRODUCTS

- MATERIALS:
 - STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50
 - STRUCTURAL TUBING: ASTM A500, GRADE B
 - PIPE: ASTM A53, TYPE E OR S, GRADE B
 - BOLTS, NUTS, AND WASHERS: ASTM A325
 - ANCHOR BOLTS: ASTM A307
 - WELDING MATERIALS: AWS D1.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
 - GROUT: NON-SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH OF 7000 psi AT 28 DAYS.
 - SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE
 - TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE
 - FABRICATION: CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.
- FINISH:
 - PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1 TO SP-10 PROCEDURES.
 - STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

- INSERTS, EMBEDDED COMPONENTS AND OPENINGS
 - CONTRACTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
 - PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.
 - COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENINGS, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
 - INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.
- REINFORCEMENT PLACEMENT
 - PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
 - ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.
 - WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
 - MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT

PART 3 - EXECUTION

- EXAMINATION AND PREPARATION: VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.
- ERECTION:
 - ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
 - FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.
 - DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
 - AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED OR GALVANIZED WITH TOUCH-UP PRIMERS AS SPECIFIED UNDER SECTION 05000 - METALS, PART 2 - PRODUCTS, H & I. SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.
- FIELD QUALITY CONTROL: FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND TORQUING.

DIVISION 16: ELECTRICAL
SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

- CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
- ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, FULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "I" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NIBFU AND "UL" LISTED.
- ALL CONDUIT SHALL HAVE A PULL CORD.
- PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UFG, NEC AND ALL APPLICABLE CODES.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-B LIFT COVER PLATES.

SECTION 16400 - SERVICE AND DISTRIBUTION

- WIRE AND CABLE CONDUCTORS SHALL BE COPPER, GOOV, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECEPTER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
- ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED. A NETER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE A NOTED ON THE DRAWINGS. MANUFACTURED BY MILBAIK OR APPROVED EQUAL, AND SHALL BE UTILITY COMPANY APPROVED.
- CONDUIT:
 - RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 3/2" LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GROUND RING COMPRESSION TYPE.
 - FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.
 - ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 60" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY THE UTILITY CLEARANCE HOTLINE (DIGGERS HOTLINE OR OTHER SUCH NOTIFYING AGENCY) SEVENTY-TWO (72) BUSINESS HOURS PRIOR TO DIGGING.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOODUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
- ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE 1/4-INCH). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
- UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR SHALL BE SUBMITTED FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
- GROUNDING ELECTRODE SYSTEM
 - PREPARATION
 - SURFACE PREPARATION: ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUNDED. ALL CONNECTIONS ARE TO HAVE A HOI-OXIDIZING AGENT APPLIED PRIOR TO INSTALLATION.
 - GROUND BAR PREPARATION: ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.
 - SLEEVES: ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
 - GROUND BARS
 - ALL GROUND BARS SHALL BE 1/4-INCH THICK THINNED COPPER PLATE AND OF SIZE INDICATED ON DRAWINGS.
 - ALL CONNECTIONS TO THE GROUND BARS SHALL OBSERVE THE FOLLOWING SEQUENCE:
 - BOLT HEAD
 - 2-HOLE LUG
 - NON-OX (ANTI-OXIDATION COMPOUND)
 - THINNED COPPER BUSS BAR
 - NON-OX (ANTI-OXIDATION COMPOUND)
 - STAR WASHER
 - NUT
- EXTERNAL CONNECTIONS
 - ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEES, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.
 - ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS. CONNECTIONS TO STRUCTURAL STEEL SHALL BE EXOTHERMIC WELDS.
 - GROUND RODS ALL GROUND RODS SHALL BE 5/8-INCH DIAMETER X 10'-0" LONG "COPPERED" OR APPROVED EQUAL OF THE NUMBER AND LOCATIONS INDICATED. GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.
 - GROUND CONDUCTORS ALL GROUND CONDUCTORS SHALL BE STANDARD THINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.
- LUGS
 - LUGS SHALL BE 2-HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548 BE OR EQUIVALENT MINIMUM BENDING:

A. 535 MCM DLO	54280BE
B. 262 MCM DLO	54272BE
C. #1/0 DLO	54262BE
D. #4/0 THWN AND BARE	54266BE
E. #2/0 THWN	54262BE
F. #2 THHN	54207BE
G. #6 DLO	54205BE
 - WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:

GROUNDING CONDUCTOR SIZE	RADIUS TO INSIDE EDGE
NO. 6 AWG TO NO. 4 AWG	6 INCHES
NO. 2 AWG TO NO. 1/0 AWG	8 INCHES
NO. 2/0 AWG TO 4/0 MCM	12 INCHES
250 MCM TO 750 MCM	24 INCHES
- GROUND RING
 - THE EXTERNAL GROUND RING ENCIRCLING THE TOWER (IF APPLICABLE) AND BETWEEN THE EQUIPMENT SHELTER PLATFORM ANCHORS SHALL BE MINIMUM NO. 2 A.W.G. SOLID THINNED BARE COPPER CONDUCTORS IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR DEPTHS SHALL HAVE A MINIMUM BENDING RADIUS OF EIGHT (8) INCHES.
 - ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUGS OR CLAMPS WILL BE ACCEPTED.
- FENCE/GATE GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON DRAWING GROUND CONNECTIONS TO FENCE POSTS AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH GOLD GALVANIZED PAINT.
- I.E.C.E. FALL POTENTIAL TESTS
 - FOR RAW LAND SITE
 - GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.C.E. STANDARDS NO. 81-19-83, PART 1) MAY BE USED. THE I.E.C.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP. THE TEST POINT WILL BE THE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2 OR EQUIVALENT)
 - CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:

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 Phone: 608-643-4100 Fax: 608-643-7999
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Continuation Sheet
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.

Signature: *Michael L. Pinske* Date: 3/28/2014

DATE	DESCRIPTION	
03-26-14	FINAL CDs ISSUED	
01-21-14	APPLICANT ID REV, PRELIMINARY CDs ISSUED	
01-06-14	PRELIMINARY CONSTRUCTION DRAWINGS	
MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE ISSUED: 01/06/2014

PROJECT TITLE: **BELOIT W10032**
FA ID #: 10012015

PROJECT INFORMATION:
 136 MILL STREET
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE: **NOTES**

SCALE: NONE

PROJECT NUMBER	26909
SHEET NUMBER	N-2

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- A. EQUIPMENT PAD**
- FIRST TEST - SHALL BE WITH FOUR GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNERS REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
 - SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNERS REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.
- B. TOWER**
- FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNERS REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
 - SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNERS REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.
- C. EQUIPMENT PAD AND TOWER**
- AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL THE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
 - AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPLETE A MEGGER CHECK OF THE GROUND SYSTEM SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND. 10. GROUNDING RESISTANCE TEST REPORT UPON COMPLETION OF THE TESTING FOR EACH SITE. A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.
 - GROUNDING RESISTANCE TEST REPORT UPON COMPLETION OF THE TESTING FOR EACH SITE. A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OR WORK COMPLETION.

**SECTION 16503 - POLES, POSTS, AND STANDARDS
 (SINGLE MAST AND SELF SUPPORTING TOWERS)**

- 1. GENERAL**
- LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED.
 - PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
 - GROUNDING: GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE. NON-EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT.

**SECTION 16745 - TELECOMMUNICATIONS WIRING COMPONENTS
 (COAXIAL ANTENNA CABLE)**

- 1. GENERAL**
- ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
 - CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS
 - ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.
- 2. MATERIALS:**
- COAXIAL CABLE:
 - INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN

- ANTENNAS AND EQUIPMENT PER MANUFACTURERS RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURERS' REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
- ALL COAX RUN LENGTHS SHALL BE PER RF APPROVED DESIGN.
- 3. ANTENNA AND COAXIAL CABLE GROUNDING**
- ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)
- 4. COAXIAL CABLE IDENTIFICATION**
- TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, MARK CABLE.
 - FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
 - SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
 - THIRD LOCATION IS OUTSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
- 5. TESTING THE CONTRACTOR IS REQUIRED TO COMPLETE COAX SWEEPS PER CARRIER REQUIRED GUIDANCE. THE CONTRACTOR TO PROVIDE 96 HOUR ADVANCED NOTIFICATION TO CARRIER CONSTRUCTION MANAGER SO THAT OPERATIONS STAFF CAN BE ON-SITE TO SUPERVISE SWEEPS, IF REQUIRED.**



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Michael L. Pinske
 Date: 3/28/2014
 Title: _____

O	03-28-14	FINAL CD# ISSUED
B	01-21-14	APPLICANT ID REV, PRELIMINARY CD# ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION

ISSUE: PRELIMINARY DATE ISSUED: 01/08/2014
 PROJECT TITLE:

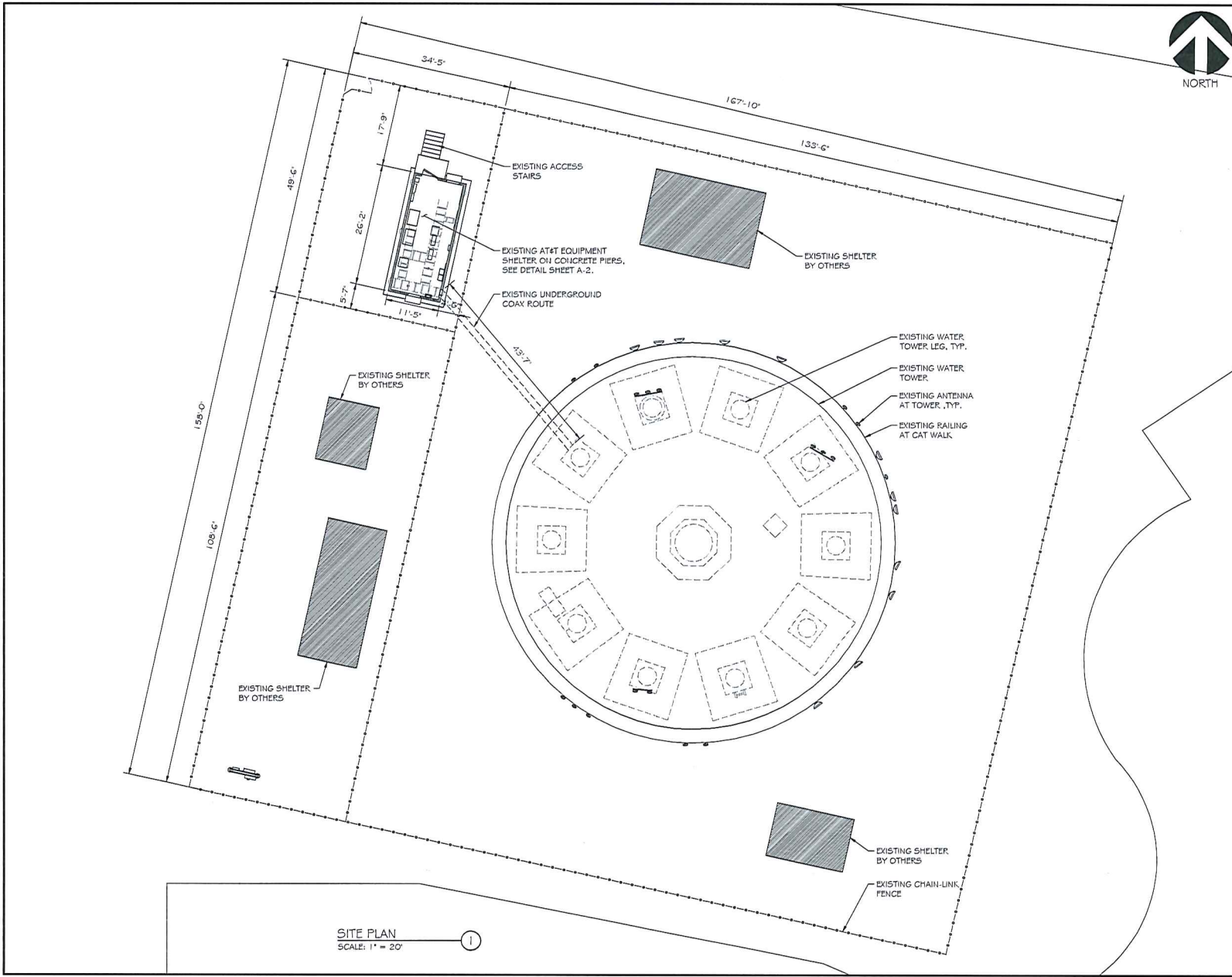
**BELOIT
 WI0032
 FA ID #: 10012015**

PROJECT INFORMATION:
 138 MILL STREET
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
NOTES

SCALE: NONE

PROJECT NUMBER: 26909
 SHEET NUMBER: N-3



SITE PLAN
 SCALE: 1" = 20'



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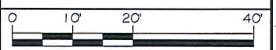
Michael L. Pinske
 Date: 3/28/2014

MARK	DATE	DESCRIPTION
0	03-28-14	FINAL CDS ISSUED
B	01-21-14	APPLICANT ID REV, PRELIMINARY CDS ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS

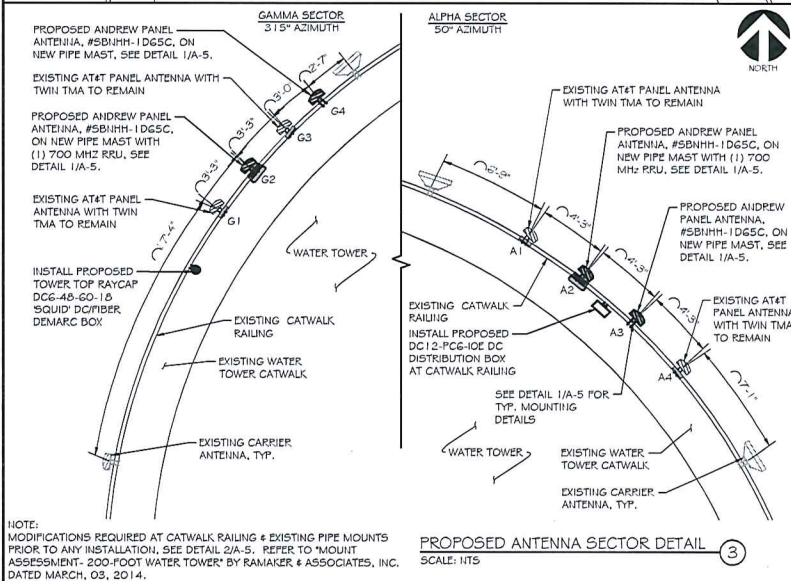
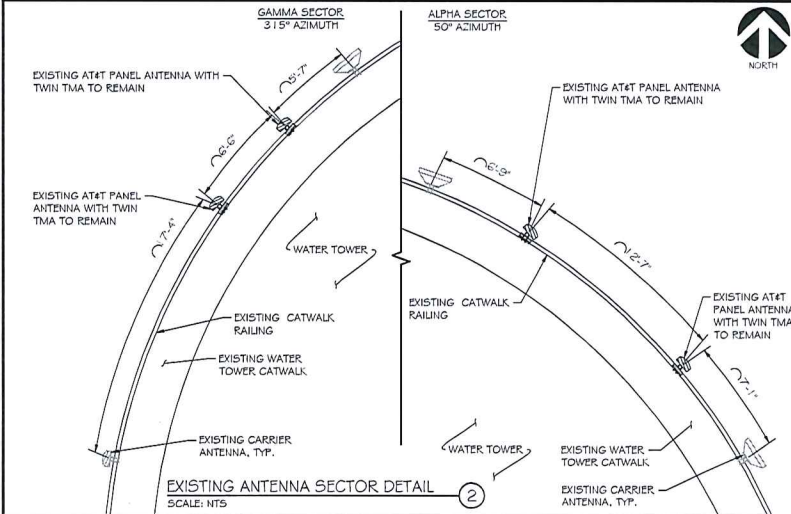
ISSUE PRELIMINARY DATE ISSUED 01/08/2014

PROJECT TITLE:
BELOIT
WI0032
FA ID #: 10012015
 PROJECT INFORMATION:
 138 MILL STREET
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
SITE PLAN



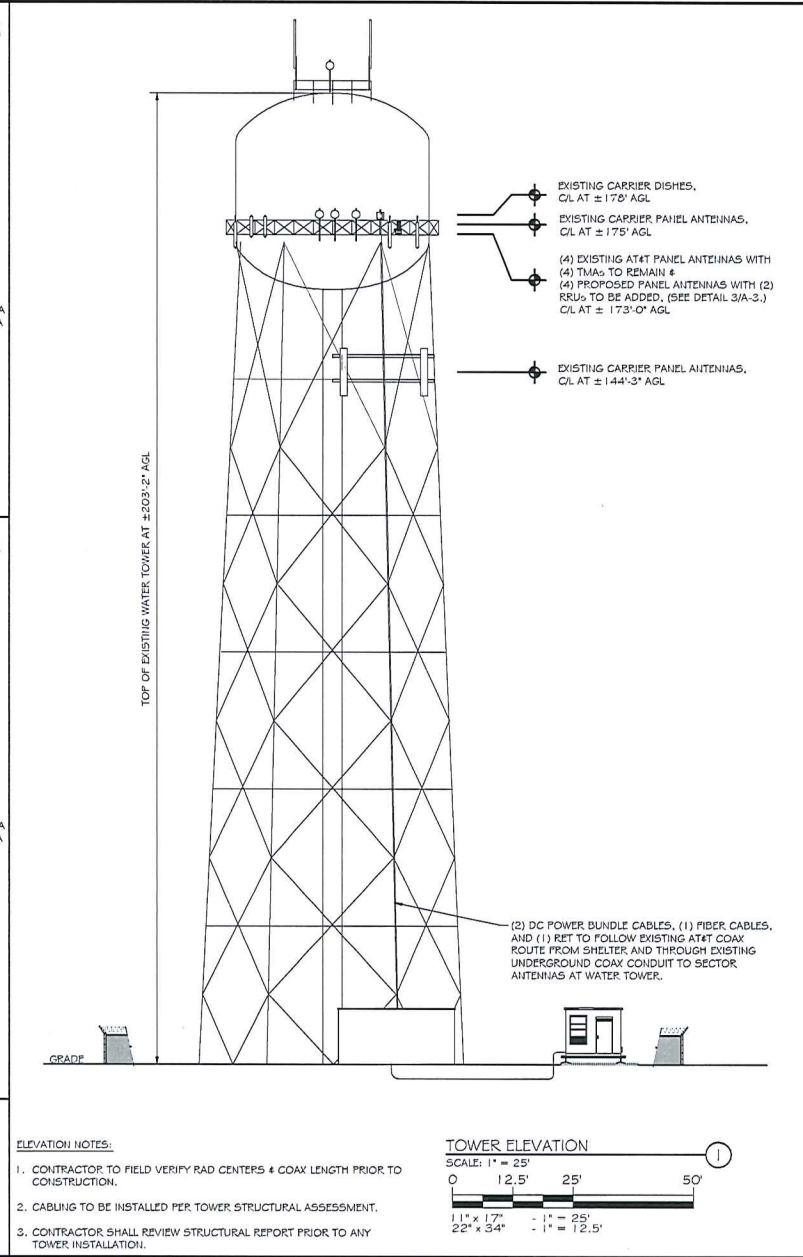
1 1/4" x 17" - 1" = 20'
 22" x 34" - 1/2" = 10'
 PROJECT NUMBER: 26909
 SHEET NUMBER: A-1



NOTE:
MODIFICATIONS REQUIRED AT CATWALK RAILING & EXISTING PIPE MOUNTS PRIOR TO ANY INSTALLATION. SEE DETAIL 2/A-5. REFER TO "MOUNT & ASSESSMENT: 200-FOOT WATER TOWER" BY RAMAKER & ASSOCIATES, INC. DATED MARCH, 03, 2014.

COAX NOTES:

1. MINIMUM SEPARATION BETWEEN ANTENNAS IS 3".
2. COAX CABLE LENGTH SHOWN IS APPROXIMATE. CONTRACTOR IS REQUIRED TO MAKE ACTUAL FIELD MEASUREMENT PRIOR TO PURCHASE AND BE RESPONSIBLE FOR SAME.
3. COAX CABLE SHALL BE RAISED/SUPPORTED WITH HOISTING GRIP AT APPROPRIATE POINTS PER MANUFACTURER REQUIREMENTS.
4. CONTRACTOR SHALL SUPPORT COAX CABLE PER MANUFACTURER REQUIREMENTS. SUPPORT SHALL BE STAINLESS STEEL SHAP-IN HANGERS OR NON-COMPRESSING BUTTERFLY CLAMPS. NO NYLON OR PLASTIC ZIP-TIES WILL BE ALLOWED. COAX MAY BE UNSUPPORTED INSIDE MONOPOLE INSTALLATIONS.



ELEVATION NOTES:

1. CONTRACTOR TO FIELD VERIFY RAD CENTERS & COAX LENGTH PRIOR TO CONSTRUCTION.
2. CABLING TO BE INSTALLED PER TOWER STRUCTURAL ASSESSMENT.
3. CONTRACTOR SHALL REVIEW STRUCTURAL REPORT PRIOR TO ANY TOWER INSTALLATION.

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3/28/2014
Date:

MARK	DATE	DESCRIPTION
D	03-28-14	FINAL CD ISSUED
D	01-21-14	APPLICANT ID REV. PRELIMINARY CD ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS

ISSUE PRELIMINARY DATE ISSUED: 01/08/2014

PROJECT TITLE:
BELOIT W10032
FA ID #: 10012015

PROJECT INFORMATION:
138 MILL STREET
BELOIT, WI 53511
ROCK COUNTY

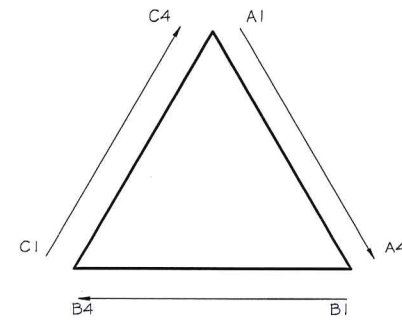
SHEET TITLE:
ELEVATION & ANTENNA PLANS

SCALE:
AS NOTED

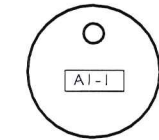
PROJECT NUMBER: **26909**
SHEET NUMBER: **A-3**

CABLE MARKING COLOR CONVENTION TABLE

ALPHA, A, X, #1	A1-1 + 45	A1-2 - 45	A2-1 + 45	A2-2 - 45	A3-1 + 45	A3-2 - 45	A4-1 + 45	A4-2 - 45
SECTOR ANTENNA PORT	RED WHITE SLATE	RED WHITE BROWN	RED ORANGE SLATE	RED ORANGE BROWN	RED BROWN SLATE	RED BROWN BROWN	RED VIOLET SLATE	RED VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
BETA, B, Y, #2	B1-1 + 45	B1-2 - 45	B2-1 + 45	B2-2 - 45	B3-1 + 45	B3-2 - 45	B4-1 + 45	B4-2 - 45
SECTOR ANTENNA PORT	BLUE WHITE SLATE	BLUE WHITE BROWN	BLUE ORANGE SLATE	BLUE ORANGE BROWN	BLUE BROWN SLATE	BLUE BROWN BROWN	BLUE VIOLET SLATE	BLUE VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
GAMMA, C, Z, #3	C1-1 + 45	C1-2 - 45	C2-1 + 45	C2-2 - 45	C3-1 + 45	C3-2 - 45	C4-1 + 45	C4-2 - 45
SECTOR ANTENNA PORT	GREEN WHITE SLATE	GREEN WHITE BROWN	GREEN ORANGE SLATE	GREEN ORANGE BROWN	GREEN BROWN SLATE	GREEN BROWN BROWN	GREEN VIOLET SLATE	GREEN VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
DELTA, D, #4	D1-1 + 45	D1-2 - 45	D2-1 + 45	D2-2 - 45	D3-1 + 45	D3-2 - 45	D4-1 + 45	D4-2 - 45
SECTOR ANTENNA PORT	YELLOW WHITE SLATE	YELLOW WHITE BROWN	YELLOW ORANGE SLATE	YELLOW ORANGE BROWN	YELLOW BROWN SLATE	YELLOW BROWN BROWN	YELLOW VIOLET SLATE	YELLOW VIOLET BROWN
BAND (850/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET



ANTENNA ORIENTATION
 SCALE: NTS



TAG DETAIL EXAMPLE
 SCALE: NTS

NOTES:

- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE.
- ALL COLOR BANDS INSTALLED AT THE TOWER TOP SHALL BE A MINIMUM OF 3" WIDE AND SHALL HAVE A MINIMUM OF * OF SPACING BETWEEN EACH COLOR.
- ALL COLOR BANDS INSTALLED AT OR NEAR THE GROUND MAY BE ONLY * WIDE. EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
- EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH * COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
- ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF * BANDS ON EACH END OF THE BOTTOM JUMPER.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE TO SIDE.
- EACH COLOR BAND SHALL HAVE A MINIMUM OF (3) WRAPS AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
- X-POLE ANTENNAS SHOULD USE 'XX-1' FOR THE '+45' PORT, 'XX-2' FOR THE '-45' PORT.
- COLOR BAND #4 REFERS TO THE FREQUENCY BAND: ORANGE= 850, VIOLET= 1900. USED ON JUMPERS ONLY.
- RF FEEDLINE SHALL BE IDENTIFIED WITH A METAL TAG (STAINLESS OR BRASS) AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER.
- ANTENNAS MUST BE IDENTIFIED USING THE SECTOR LETTER AND ANTENNA NUMBER WITH A BLACK MARKER PRIOR TO INSTALLATION.
- TO PROVIDE ADDITIONAL IDENTIFICATION RF CABLES SHALL BE IDENTIFIED WITH A METAL TAG MADE OF STAINLESS STEEL OR BRASS AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER. THE ID MARKING LOCATIONS SHOULD BE AS PER "CABLE MARKING LOCATIONS TABLE". THE TAG SHOULD BE ATTACHED WITH CORROSIVE PROOF WIRE OR WAX STRING AROUND THE CABLE. THE TAG SHOULD BE LABELED AS SHOWN IN DETAIL 2/A-9.

CABLE MARKING LOCATIONS TABLE

TAPE	TAG	LOCATIONS
X		EACH TOP JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
X		EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3#4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
	X	MARKING TAGS SHALL BE ATTACHED AT CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
X		ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3#4" WIDE BANDS ON EACH END OF BOTTOM JUMPER.

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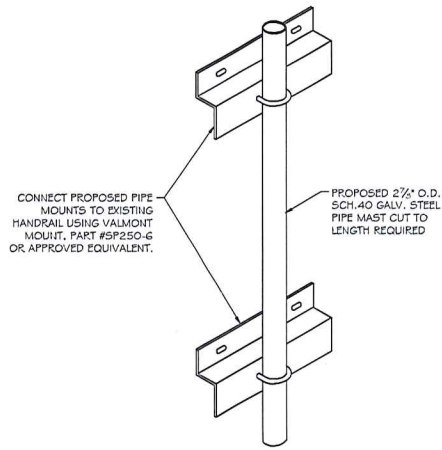


Gen/John K Seal
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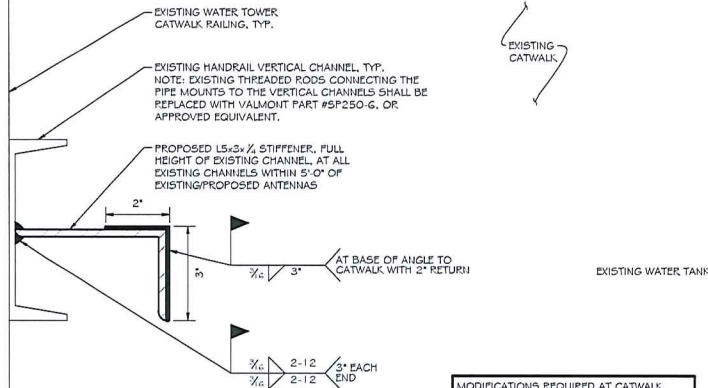


Michael L. Pinske 3/28/2014
 Date of Issue Date

ISSUE	PRELIMINARY	DATE	01/08/2014
PROJECT TITLE:	BELOIT W10032		
FA ID #:	10012015		
PROJECT INFORMATION:	138 MILL STREET BELOIT, WI 53511 ROCK COUNTY		
SHEET TITLE:	COAX COLOR CODING		
SCALE:	NONE		
PROJECT NUMBER:	26909		
SHEET NUMBER:	A-4		

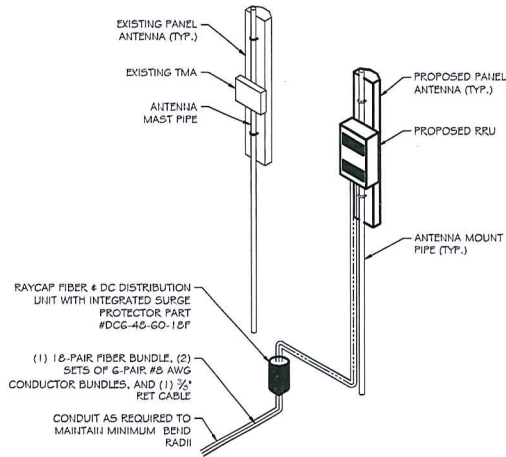


ANTENNA PIPE MOUNT DETAIL
 SCALE: NTS

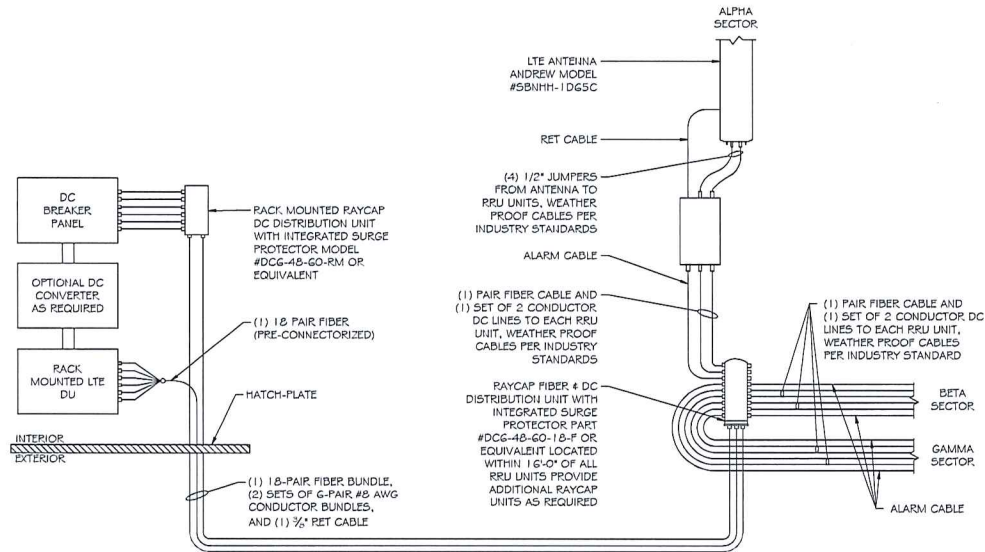


MODIFICATIONS REQUIRED AT CATWALK RAILING & EXISTING PIPE MOUNTS PRIOR TO ANY INSTALLATION. REFER TO "MOUNT ASSESSMENT- 200-FOOT WATER TOWER" BY RAMAKER & ASSOCIATES, INC., DATED MARCH, 03, 2014.

MODIFICATION DETAILS
 SCALE: NTS



TYPICAL LTE ANTENNA SYSTEM
 SCALE: NTS



LTE SCHEMATIC DIAGRAM
 SCALE: NTS

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Michael L. Pinske
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BELOIT W10032
 FA ID #: 10012015
 PROJECT INFORMATION:
 138 MILL STREET
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
ANTENNA DETAILS

SCALE: NONE

PROJECT NUMBER: 26909
 SHEET NUMBER: A-5

FIBER & DC CABLE NUMBERING							
FIBER CABLE PAIR	TECHNOLOGY	BAND	SECTOR	RRH NUMBER	RADIO NAME	DC TRUNK #1	SQUID SURGE UNIT
1	LTE	700	A	RRH-A1	LTE-700-A-RRH-A1	DC TRUNK #1 RED/BK BLUE TRACER	MAIN A-1
2	LTE	AWS	A	RRH-A2	LTE-AW-A-RRH-A2	DC TRUNK #2 RED/BK BLUE TRACER	MAIN B-1
3	LTE/UMTS	850 / 1900	A	RRH-A3	LTE/UMTS-850 / 1900-A-RRH-A3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
4	SPARE	N/A	A	N/A	SECTOR "A" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE
5	LTE	700	B	RRH-B1	LTE-700-B-RRH-B1	DC TRUNK #1 RED/BK ORANGE TRACER	MAIN A-2
6	LTE	AWS	B	RRH-B2	LTE-700-B-RRH-B2	DC TRUNK #2 RED/BK ORANGE TRACER	MAIN B-2
7	LTE/UMTS	850 / 1900	B	RRH-B3	LTE/UMTS-850 / 1900-B-RRH-B3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
8	SPARE	N/A	B	N/A	SECTOR "B" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE
9	LTE	700	C	RRH-C1	LTE-700-C-RRH-C1	DC TRUNK #1 RED/BK GREEN TRACER	MAIN A-3
10	LTE	AWS	C	RRH-C2	LTE-700-C-RRH-C2	DC TRUNK #2 RED/BK GREEN TRACER	MAIN B-3
11	LTE/UMTS	850 / 1900	C	RRH-C3	LTE/UMTS-850 / 1900-C-RRH-C3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
12	SPARE	N/A	C	N/A	SECTOR "C" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE



1120 Dallas Street, Sauk City, WI 53583
Phone: 608-643-4100 Fax: 608-643-7999
www.Ramaker.com



Declaration & Seal
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinske 3/28/2014
Date

0	03-28-14	FINAL CD ISSUED
B	01-21-14	APPLICANT ID REV, PRELIMINARY CD ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE ISSUED 01/08/2014
PROJECT TITLE:	BELOIT W10032 FA ID #: 10012015	
PROJECT INFORMATION:	138 MILL STREET BELOIT, WI 53511 ROCK COUNTY	
SHEET TITLE:	FIBER COLOR CODING & NUMBERING	
SCALE:	NONE	
PROJECT NUMBER:	26909	
SHEET NUMBER:	A-6	

GROUNDING SPECIFICATIONS:

1. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
2. ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
3. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC (ADWELD) TO ANTENNA MASTS, FENCE POSTS, AND GROUND RODS UNLESS NOTED OTHERWISE. CLEAN SURFACES TO SHINE METAL. WHERE GROUND WIRES ARE ADWELD TO GALVANIZED SURFACES, SPRAY ADWELD WITH GALVANIZING PAINT. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION/MECHANICAL FITTINGS.
4. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 8" RADIUS.
5. WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN * PVC SLEEVE, FROM 1"Ø MIN. ABOVE GRADE AND SEAL TOP WITH SILICONE MATERIAL. GROUNDING CONDUCTORS SHALL BE RUN THROUGH * PVC SLEEVE WHERE ROUTED THROUGH WALLS, FLOORS, AND CEILING AND/OR ABOVE EXTERIOR GRADE. ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
6. SURFACE CONNECTIONS SHALL BE MADE TO BARE METAL. PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION, APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
7. GROUNDING WIRE CONNECTIONS SHALL BE 3-CRIMP C-TAP COMPRESSION TYPE. SPLIT BOLTS ARE NOT ACCEPTABLE.
8. GROUND RODS SHALL BE COPPER CLAD STEEL *10" SPACE NOT LESS THAN 10' O.C.
9. CONNECTORS SHALL BE CRIMPED USING HYDRAULIC CRIMPING TOOLS.
10. COPPER BUSES SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED, NO FINGERPRINTS OR DISCOLORED
11. COPPER WILL BE PERMITTED.
12. HARDWARE (I.E. NUTS, BOLTS, WASHERS, ETC.) IS TO BE STAINLESS STEEL.
13. THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDED USING LOCKNUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTORS, RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDED WITH A FULL SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUITS CONDUIT.
14. INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUS IN THE PANEL BOARD.
15. GROUND BARS (SECTOR, COLLECTOR, MASTER) SHALL BE MIN. BARE * x 4" COPPER AND LARGE ENOUGH TO ACCOMMODATE THE REQUIRED NUMBER OF GROUND CONNECTIONS. THE HARDWARE SECURING THE MGB SHALL ELECTRICALLY INSULATE THE MGB FROM ANY STRUCTURE TO WHICH IT IS FASTENED.
16. APPLY THOMAS & BETTS KOPR-SHIELD OR APPROVED EQUIVALENT PRIOR TO MAKING MECHANICAL CONNECTIONS. CONNECTIONS.
17. SHALL BE MADE WITH STAINLESS STEEL BOLTS, NUTS AND LOCK WASHERS * DIAMETER MIN. WHERE GALVANIZING IS REMOVED FROM METAL IT SHALL BE PAINTED OR TOUCHED UP WITH 'GALVONOX' OR EQUAL.
18. ALL TERMINATIONS AT EQUIPMENT ENCLOSURES, PANELS, FRAMES OF EQUIPMENT AND WHERE EXPOSED FOR GROUNDING
19. CONDUCTOR TERMINATION SHALL BE PERFORMED UTILIZING TWO HOLE BOLTED TONGUE COMPRESSION TYPE WITH STAINLESS STEEL SELF-TAPPING SCREWS.
20. ALL CLAMPS AND SUPPORTS USED TO SUPPORT THE GROUNDING SYSTEM CONDUCTOR AND PVC CONDUITS SHALL BE PVC TYPE (NON-CONDUCTIVE), DO NOT USE METAL BRACKETS OR SUPPORTS WHICH WOULD FORM A COMPLETE RING AROUND ANY GROUNDING CONDUCTOR.
21. THE CONTRACTOR SHALL ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE TO EARTH DOES NOT EXCEED 5.0 OHMS, PROVIDE A COPY OF TESTING REPORT, INCLUDING THE METHOD AND INSTRUMENTS USED TO VERIFY RESISTANCE TO AT&T REPRESENTATIVE.
22. COAX CABLE SHALL BE GROUNDED AT ANTENNA LEVEL WITHIN 5' OF ANTENNA. COAX WILL ADDITIONALLY BE GROUNDED AT THE BASE OF THE TOWER 15' BEFORE THE CABLE REACHES A HORIZONTAL PLANE. IF EQUIPMENT CABINET IS MORE THAN 15' FROM THE TOWER AN ADDITIONAL GROUND KIT WILL BE ADDED 24" BEFORE CABLE ENTERS CABINET.
23. ALL COAX GROUND KITS WILL BE ANDREW 'COMPACT SURE GROUND' OR APPROVED EQUIVALENT.
24. VERIFY THE GROUNDING CONTINUITY BETWEEN THE TOWER BASE AND THE NEW AT&T CABINET GROUND BAR. CONTRACTOR SHALL ENSURE THAT ALL METALLIC OBJECTS WITHIN 6" FROM CABINET HAVE GROUNDING CONTINUITY. THE CONTRACTOR SHALL CORRECT ANY DEFECTS BY ADDING GROUNDING CONDUCTOR TO ENSURE CONTINUITY.22. GROUNDING CONDUCTORS SHALL BE COPPER ONLY. EITHER SOLID OR STRANDED CONDUCTORS ARE PERMITTED. ALL EXTERNAL BURIED CONDUCTORS MUST BE BARE. EQUIPMENT GROUND LEADS IN CABLE TRAYS MUST BE GREEN INSULATED.23. CONTRACTOR TO PROVIDE GROUND WIRES, BARS, AND CONNECTIONS AS SHOWN ON GROUNDING RISER DIAGRAM.
25. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AUL UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-00071.
26. CONNECTIONS TO THE GROUND BAR SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BARS ARE PERMITTED.
27. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH NEC, SHALL BE FURNISHED AND INSTALLED WITH POWER CIRCUITS TO BTS EQUIPMENT.

28. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
29. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 8 INCHES.
30. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH NEC.
31. GROUND ALL R/F EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA'S, ANTENNAS, AND ANTENNA MAST PER NEC AND AT&T HD-00071.

GENERAL NOTES:

1. OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO AT&T.
2. SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FAILED INSPECTION.
3. REDUND AS-BUILTS ARE TO BE DELIVERED TO AT&T REPRESENTATIVE.
4. PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
5. FURNISH AND INSTALL THE COMPLETE ELECTRICAL SYSTEM, TELCO SYSTEM, AND THE GROUNDING SYSTEM AS SHOWN ON THESE DRAWINGS.
6. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER AND SHALL BE SUBJECT TO APPROVAL BY AT&T.
7. CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
8. PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
9. REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE SITE OWNERS REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY. USE OF THE PROPERTY'S DUMPSTER IS PROHIBITED.
10. CONTRACTOR TO CONFIRM AVAILABLE CAPACITY AT EXISTING UTILITY PEDESTAL AND ADVISE ENGINEER OF SERVICE SIZE AND FAULT CURRENT LEVEL.
11. IF PEDESTAL DOES NOT HAVE ADEQUATE CAPACITY, CONTRACTOR TO SUBMIT COST QUOTATION TO UPGRADE. UPON APPROVAL OF SUBMITTED COST QUOTATION, THE CONTRACTOR SHALL PROVIDE NEW SERVICE AND/OR UPGRADE SERVICE. FEEDERS AND EQUIPMENT/ELECTRODE GROUNDING CONDUCTORS SIZE ACCORDINGLY.
12. CONTRACTOR SHALL VERIFY SEPARATION DIMENSION BETWEEN POWER COMPANY ELECTRICAL CONDUITS AND LP GAS PIPES AS PER UTILITY COMPANY. LOCAL CODES, NEC, HPFA, AND GAS TANK MANUFACTURERS SPECIFICATION.
13. CONTRACTOR SHALL VERIFY THAT THE TOTAL NUMBER OF SERVICE ENTRANCE DISCONNECTS IN THE EXISTING UTILITY COMPANY PEDESTAL MUST NOT EXCEED SIX. IF THE NEW SERVICE ADDED EXCEEDS THIS VALUE, CONTRACTOR MUST COORDINATE WITH THE UTILITY COMPANY AND AUTHORITY HAVING JURISDICTION. THE RUNNING OF AN ADDITIONAL EXCLUSIVE AND DEDICATED SERVICE LATERAL SET FOR THE NEW LOAD ADDED TO THE COMPOUND AS PER NEC ARTICLE 230-2(B).
14. THE EQUIPMENT/PROTECTIONS MUST BE RATED FOR STANDARD AIC RATE HIGHER THAN INCOMING EQUIPMENT AND/OR UTILITY COMPANY AIC RATE.



RAMAKER & ASSOCIATES, INC.
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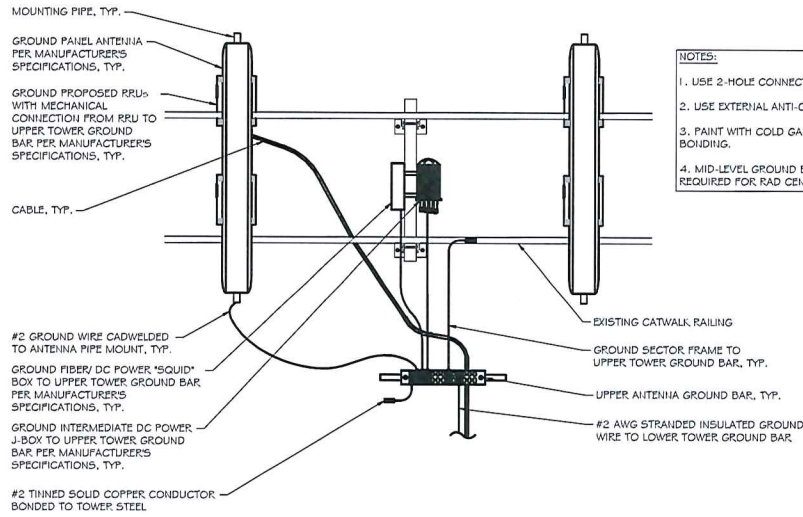


Contractor Seal
 I hereby certify that the plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



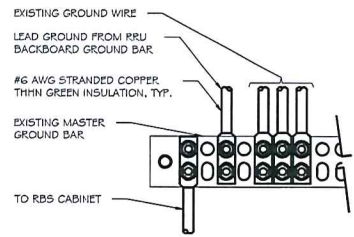
Michael L. Pinsky 3/28/2014
 Date

Q	03-26-14	FINAL CD'S ISSUED
R	01-21-14	APPLICANT ID REV, PRELIMINARY CD'S ISSUED
A	01-08-14	PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE ISSUED: 01/08/2014
PROJECT TITLE:	BELOIT W10032	
	FA ID #: 10012015	
PROJECT INFORMATION:	138 MILL STREET BELOIT, WI 53511 ROCK COUNTY	
SHEET TITLE:	UTILITY NOTES	
SCALE:	NONE	
PROJECT NUMBER:	26909	
SHEET NUMBER:	E-1	

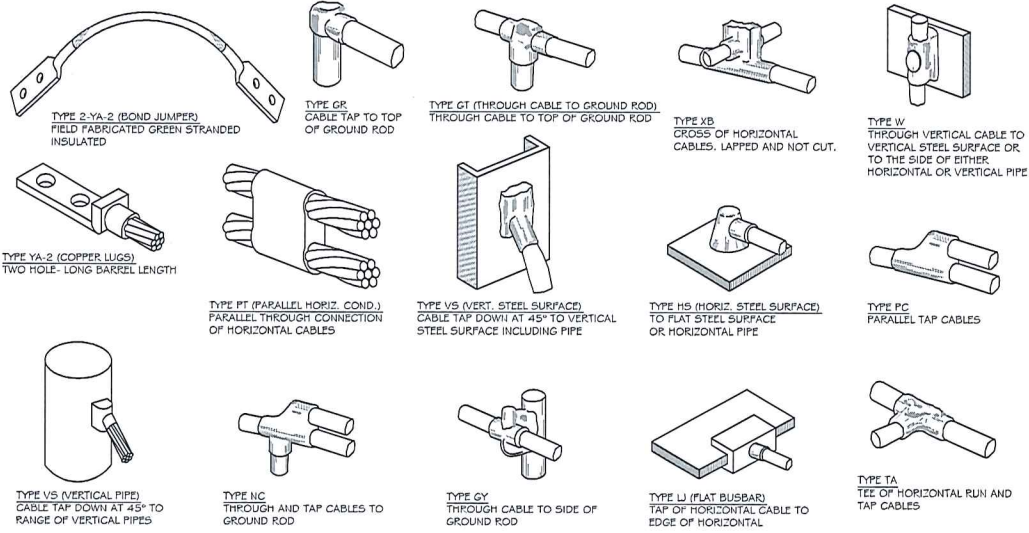


- NOTES:**
1. USE 2-HOLE CONNECTOR.
 2. USE EXTERNAL ANTI-OXIDATION COMPOUND.
 3. PAINT WITH COLD GALV. COMPOUND AFTER BONDING.
 4. MID-LEVEL GROUND BAR REQUIRED FOR RAD CENTERS > 300' AGL.

ANTENNA SECTOR GROUNDING
 SCALE: NTS ①



TYPICAL MASTER GROUND BAR DETAIL
 SCALE: NTS ②



EXOTHERMIC WELD DETAILS
 SCALE: NTS ③

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Certification & Seal:
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Michael L. Pinske 3/28/2014
 Date

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ISSUE	PRELIMINARY	DATE ISSUED: 01/08/2014
PROJECT TITLE:	BELOIT W10032 FA ID #: 10012015	
PROJECT INFORMATION:	138 MILL STREET BELOIT, WI 53511 ROCK COUNTY	
SHEET TITLE:	UTILITY & GROUNDING DETAILS	
SCALE:	NONE	
PROJECT NUMBER:	26909	
SHEET NUMBER:	E-2	

**RESOLUTION APPROVING A SECOND AMENDMENT TO AN
EQUIPMENT LOCATION LEASE WITH NEW CINGULAR WIRELESS PCS, LLC
FOR SPACE ON WATER TOWER SITE AT 2995 CRANSTON ROAD**

WHEREAS, New Cingular Wireless PCS, LLC (hereinafter “Lessee”) has an Equipment Location Lease for space on the Cranston Road Water Tower; and

WHEREAS, the Lessee has approached the City requesting to upgrade current equipment and install additional equipment on the Tower; and

WHEREAS, the City staff has reviewed the site plans and the site plans are acceptable; and

WHEREAS, the Lessee has agreed to pay the City an additional \$300 per month for the additional space requested; and

WHEREAS, during negotiations it was learned that the Lessee has mistakenly overpaid rent from 2006 to present and the Lessee has agreed to resolve the issue of the overpayment of rent by accepting a monthly rent credit over the duration of the lease; and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Beloit, Rock County, Wisconsin, finds that the proposed lease amendment is in the best interest of the City of Beloit and the City Manager is hereby authorized to execute the attached Second Amendment to the Equipment Location Lease and to do such other and further things necessary to fully implement the lease agreement.

Adopted this 17th day of November, 2014.

City Council of the City of Beloit

Mark Spreitzer, President

Attest:

Rebecca Houseman LeMire, City Clerk

tdh\resolution\Second Amendment Cranston Road =res=141108 (03-1238)

CITY OF БЕЛОIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL



Topic: Second Amendment to Equipment Location Lease – New Cingular (Cranston Road Tower)

Date: November 17, 2014

Presenter(s): Elizabeth A. Krueger

Department(s): City Attorney

Overview/Background Information:

In 2002, Wisconsin Power and Light and New Cingular Wireless PCS, LLC entered into a lease for space on the Cranston Road Water Tower. The City assumed Wisconsin Power and Lights' interest in the lease in 2003. In 2005, the City and New Cingular entered into a First Amendment to Equipment Location Lease that modified the terms of the original lease, including a modification to the rent payment in exchange for extending the terms of the 2002 lease.

New Cingular recently approached the City of Beloit requesting to add additional equipment to the water tower in exchange for an increase in rent of \$300 per month. Staff has reviewed the site plans and staff has determined that the plans and proposed rent are acceptable and recommended for approval.

During negotiations it was discovered that New Cingular had been overpaying rent since the beginning of the first renewal period. New Cingular has agreed to a rent credit for the overpayment over the duration of the lease. The increased rent and the credit for the overpayment of rent have been outlined in the terms of the Second Amendment.

Key Issues (maximum of 5):

1. New Cingular has a current lease for the location of cellular equipment on the Cranston Road Water Tower.
 2. New Cingular wishes to upgrade its equipment and add additional equipment.
 3. New Cingular has agreed to an increase of rent of \$300/month.
 4. New Cingular has overpaid rent for a number of years and has accepted a rent credit over the duration of the lease to resolve the issue of the overpayment.
 5. The new rent schedule shall be \$2,400/month for the 2nd Renewal Period, \$3,025/month for the 3rd Renewal Period, and \$3,805/month for the 4th Renewal Period.
-

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.):

Approval of this lease amendment would conform with Goal #1's stated purpose of developing a high quality community through the responsible stewardship and enhancement of City resources.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels N/A
- Reduce dependence on chemicals and other manufacturing substances that accumulate in nature N/A
- Reduce dependence on activities that harm life sustaining eco-systems N/A
- Meet the hierarchy of present and future human needs fairly and efficiently N/A

If any of the four criteria are not applicable to your specific policy or program, an N/A should be entered in that space.

Action required/Recommendation:

Recommendation to Council to approve resolution authorizing City Manager to enter the Second Amendment to Equipment Location Lease.

Fiscal Note/Budget Impact:

Additional \$300/month rent for the duration of the Lease Agreement.

Attachments: Second Amendment to Equipment Location Lease

SECOND AMENDMENT TO EQUIPMENT LOCATION LEASE

This Second Amendment To Equipment Location Lease (hereinafter "Second Amendment"), dated as of the latter of the signature dates below, is by and between the City of Beloit, a Wisconsin municipal corporation, having a mailing address of 100 State Street, Beloit, WI 53511, successor in interest to Wisconsin Power and Light, (hereinafter "Lessor") and New Cingular Wireless PCS, LLC, a Delaware limited liability company having a mailing address of 575 Morosgo Drive NE, Atlanta, GA 30324 (hereinafter "Lessee").

WHEREAS, Lessor and Lessee entered into an Equipment Location Lease dated June 25, 2001 (hereinafter "Lease"), whereby Lessor leased to Lessee certain premises, therein described, that are a portion of the property located at 2995 Cranston Road, Beloit, Wisconsin; and

WHEREAS, Lessor and Lessee modified certain sections of said Lease pursuant to a Beloit City Council Resolution dated November 21, 2005 (hereinafter "First Amendment"); and

WHEREAS, Lessor and Lessee desire to amend the Lease and the First Amendment to permit Lessee to add, modify and/or replace equipment; and

WHEREAS, Lessor and Lessee desire to amend the Lease and the First Amendment to increase monthly rent to accommodate for additional equipment; and

WHEREAS, Lessee has made payments from 2006 to present that did not take into account the adjustments made by the First Amendment and has resulted in an overpayment of \$55,625.00; and

WHEREAS, Lessor and Lessee agree that the overpayment of rent shall be refunded as a credit towards future rent payments over the balance of the term of the Lease and any Renewal Term thereof.

NOW, THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Lessor and Lessee agree as follows:

1. **Equipment.** Lessee shall have the right to change, modify or relocate its equipment as more completely described in the attached Exhibit C-1. Exhibit C-1 hereby replaces Exhibit C and D of the Lease.

2. **Rent.**

a. Commencing on the first day of the month following the date that Lessee commences construction of the modifications set forth in this Second Amendment, rent shall be increased by \$300.00 per month, subject to further adjustments as provided in the Lease and First Amendment.

b. A credit of \$400.00 per month shall be applied to all payments beginning with the payment due November 25, 2014.

c. The schedule for rent payments shall be as follows:

<u>Term</u>	<u>Dates</u>	<u>Current Rent Schedule</u>	<u>Additional Equipment Rent</u>	<u>Overpayment Rent Credit</u>	<u>Rent Payment beginning 11/25/2014</u>
2 nd Renewal Term	06/25/2011-06/24/2016	\$2500	\$300	\$400	\$2400
3 rd Renewal Term	06/25/2016-06/24/2021	\$3125	\$300	\$400	\$3025
4 th Renewal Term	06/25/2021-06/24/2026	\$3905	\$300	\$400	\$3805

d. If the Lease is terminated prior to the amount of overpaid rent being fully credited to the Lessee, the balance of any remaining overpayment shall be refunded to the Lessee within 60 days of the termination date.

3. **Notice.** Lessee's notice address shall hereby be amended as follows:

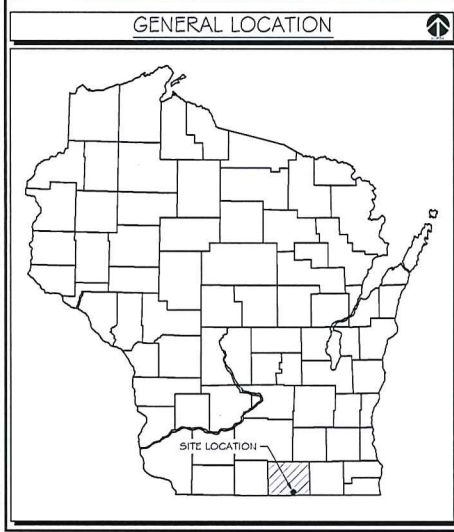
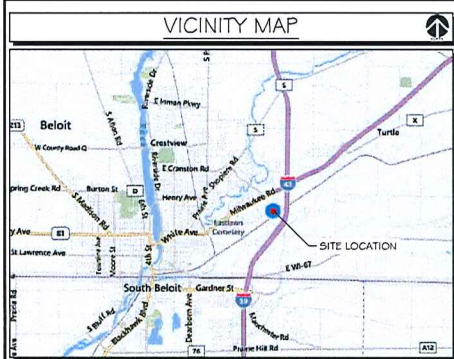
If to Lessee: New Cingular Wireless PCS, LLC
 Attn: Network Real Estate Administration
 Re: Cell Site#: WI2556; Cell Site Name: Alliant Water Tank
 Fixed Asset No: 10080266
 Suite 13-F West Tower
 575 Morosgo Drive NE
 Atlanta, GA 30324

With a copy to: New Cingular Wireless PCS, LLC
 Attn: Legal Department
 Re: Cell Site#: WI2556; Cell Site Name: Alliant Water Tank
 Fixed Asset No: 10080266
 208 S. Akard Street
 Dallas, TX 75202-4206

If to the Lessor: City Manager
 City of Beloit
 100 State Street
 Beloit, WI 53511

With a copy to: City Attorney
 City of Beloit
 100 State Street
 Beloit, WI 53511

4. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Lease, the First Amendment and this Second Amendment, the terms of this Second Amendment shall control. Except as expressly set forth in this Second Amendment, the Lease, including the First Amendment, is otherwise unmodified and remains in full force and effect. Each reference in the Lease to itself shall be deemed also to refer to the First Amendment and this Second Amendment.



2014 LTE 2C PROJECT



SITE NAME: BELOIT WATER UTILITY
 SITE NUMBER: W12556
 AT&T FA NUMBER: 10080266
 PTN #: 3351348770
 2875 CRANSTON ROAD
 BELOIT, WI 53511

CONSTRUCTION DRAWINGS

NOTE:
 THESE DRAWINGS ARE PREPARED BASED ON GENERIC RFPDS INFORMATION DATED 01/07/2014, REVISION V.I.D. GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF RFPDS WITH "GOODMAN NETWORKS" PRIOR TO CONSTRUCTION.

SCOPE OF WORK:

INSTALL (1) HEX ANTENNA (5BNRH-1D65C) WITH (1) 700 RRUS-11, ONE G601 WITH ONE DUL & INSTALL (2) DC POWER CABLES & (1) FIBER CABLE BUNDLE WITH DEMARCATION BOX @ POS-2 FOR LTE 1C.

APPLICABLE BUILDING CODE & STANDARDS

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE FOLLOWING CODES AS ADOPTED BY THE GOVERNING LOCAL AUTHORITIES. NOTHING IN THESE PLANS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- INTERNATIONAL BUILDING CODE 2009
- NATIONAL ELECTRIC CODE (NEC)
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- ALL CITY/COUNTY ORDINANCES & LOCAL BUILDING CODES

DO NOT SCALE DRAWINGS:

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE 811 OR 1-800-242-8511
 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

DRIVING DIRECTIONS:

- FROM CHICAGO O'HARE INTERNATIONAL AIRPORT:
- HEAD SOUTHEAST 0.5 MI;
 - TAKE THE RAMP ONTO I-190 E 1.6 MI;
 - TAKE EXIT 1C FOR I-90 W/TOLLWAY TOWARD ROCKFORD TOLL ROAD 1.2 MI;
 - MERGE ONTO I-90 W PARTIAL TOLL ROAD ENTERING WISCONSIN 79.9 MI;
 - TAKE EXIT 185A TO MERGE ONTO I-43 S/WI-81 W TOWARD BELOIT 0.3 MI;
 - CONTINUE ONTO WI-81 W/MILWAUKEE RD 0.6 MI;
 - TURN LEFT ONTO CRANSTON RD DESTINATION WILL BE ON THE LEFT 0.5 MI

SHEET INDEX

GENERAL:	
T-1	TITLE SHEET
NOTES:	
N-1	NOTES
N-2	NOTES
N-3	NOTES
SITE:	
A-1	SITE PLAN
A-2	EQUIPMENT LAYOUT
A-3	ELEVATION & ANTENNA PLANS
A-4	COAX COLOR CODING
A-5	ANTENNA DETAILS
A-6	FIBER COLOR CODING & NUMBERING
STRUCTURAL:	
S-1	TOWER MODIFICATIONS
S-2	TOWER MODIFICATIONS
GROUNDING:	
G-1	UTILITY NOTES
G-2	UTILITY & GROUNDING DETAILS

PROJECT INFORMATION

APPLICANT ID: SITE NAME: BELOIT WATER UTILITY SITE #: W12556 FA #: 10080266	APPLICANT: BELOIT WATER UTILITY 2400 SPRINGBROOK COURT BELOIT, WI 53511 PH.: (608) 364-5735
PROPERTY OR TOWER OWNER: BELOIT WATER UTILITY 2400 SPRINGBROOK COURT BELOIT, WI 53511 PH.: (608) 364-5735	PLANS PREPARED BY: RAMAKER & ASSOCIATES, INC. 1120 DALLAS STREET SAUK CITY, WI 53583 CONTACT: JASON FRAZIER, PROJECT MANAGER PH.: (608) 643-4100 FAX: (608) 643-7999 EMAIL: jfrazier@ramaker.com
SITE ADDRESS: 2875 CRANSTON ROAD BELOIT, WI 53511 ROCK COUNTY	SITE DATA: LATITUDE: 42°-31'-5.446" N (42.51818°) LONGITUDE: 88°-58'-49.0794" W (-88.9803°) GROUND ELEVATION: ±811 FT AMSL
POWER COMPANY: ALLIANT ENERGY PH.: (255) 255-4268	TELEPHONE COMPANY: AT&T PH.: (800) 660-3000

1120 Dallas Street, Sauk City, WI 53583
 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com



Contractor Seal
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinske 7/28/2014
 Signature Date

D	07-26-14	FINAL CONSTRUCTION DRAWINGS ISSUED	
A	05-21-14	545 PRELIMINARY CONSTRUCTION DRAWINGS	
MARK DATE DESCRIPTION			
ISSUE	PRELIMINARY	DATE ISSUED	05/21/2014
PROJECT TITLE: BELOIT WATER UTILITY W12556			
FA ID #: 10080266			
PROJECT INFORMATION: 2875 CRANSTON ROAD BELOIT, WI 53511 ROCK COUNTY			
SHEET TITLE: TITLE SHEET			
SCALE: NONE			
PROJECT NUMBER:	26912		
SHEET NUMBER:	T-1		

GENERAL

THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS
SECTION 01700 - PROJECT CLOSEOUT

PART 1 - GENERAL

- 1. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES
- 2. SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING
- 3. COMPLETE FINAL CLEAN UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING, TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARKED EXPOSED FINISHES.

PART 2 - FINAL CLEANING

- 1. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.
 - A. CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN-TEXTURED SURFACE.
 - B. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE.
 - C. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURE.
 - D. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
 - E. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.
 - F. REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
 - G. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARKED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
 - H. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
 - 1. DUST-OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT ENCLOSURE.
 - J. WASH AND WAX FLOOR WITHIN EQUIPMENT ENCLOSURE.
- 2. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK
SECTION 02300 - EARTHWORK AND DRAINAGE

PART 1 - GENERAL

- 1. WORK INCLUDED: SEE SITE PLAN.
- 2. DESCRIPTIONS
LEASE AREA, AND IF APPLICABLE ACCESS DRIVE / TURNAROUND AREA, AND UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
- 3. QUALITY ASSURANCE
A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
- 4. SEQUENCING
A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.

- D. BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
- E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
- F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
- G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
- H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.

PART 2 - PRODUCTS

- 1. MATERIALS
A. SOIL STERILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID: TOTAL KILL (PRODUCT 910) - EPA 10292-7 PHASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 563-8000 AMBUSH HERBICIDE - EPA REGISTERED FRAMAR INDUSTRIAL PRODUCTS 1435 MORRIS AVE. UNION, IL 07083 (800) 526-4924
- B. ROAD AND SITE MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS (FILL MATERIAL UNLESS OTHERWISE NOTED) - ACCEPTABLE SELECT FILL SHALL STANDARD SPECIFICATIONS... BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION.
- C. SOIL STABILIZER FABRIC SHALL BE MIRAFI - 500X.

PART 3 - EXECUTION

- 1. INSPECTIONS
LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
- 2. PREPARATION
A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURNAROUND AND UNDER-GROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
B. PRIOR TO OTHER EXCAVATION OR CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY CARRIER, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL. E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
- 3. INSTALLATION
A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
C. BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
G. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
H. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.
I. APPLY RIPRAP TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
J. APPLY RIPRAP TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
K. RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
L. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIP RAPPED.
M. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT, IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS. ADVISE CONSTRUCTION MANAGERS IMMEDIATELY.
N. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN 60° OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS

- WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
- O. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
- P. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
- Q. ENSURE GROWTH OF SEED AND LANDSCAPED AREAS, BY CONTRACTING UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.
- 4. FIELD QUALITY CONTROL
COMPACT SOILS TO A MINIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.
- 5. PROTECTION
A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" X 2" X 4'-0" WOODEN STAKES EXTENDING TWO-FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS, WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE. STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

SECTION 02830 - FENCING AND GATE(S)

PART 1 - GENERAL

- 1. WORK INCLUDED
SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).
- 2. QUALITY ASSURANCE
ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 1.2 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE 2" ZINC, 1.8 OUNCES PER SQUARE FOOT.
- 3. SEQUENCING
IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.
- 4. SUBMITTALS
A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

- 1. FENCE MATERIAL
A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
B. FABRIC SHALL BE SEVEN-FOOT HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.149" O.D.). THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE WITH 1-4-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE-INCH CENTERS.
D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-126 AND AND OF THE FOLLOWING DIAMETER LINE 2" SCHEDULE 40 (2.875" O.D.) GATE 3" SCHEDULE 40 (3.125" O.D.) CORNER 3" SCHEDULE 40 (3.125" O.D.)
E. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
F. ALL TOP AND BRACE RAILS SHALL BE 1" DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE.
G. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
I. GATE HINGES SHALL BE MERCHANTS METAL MODEL G4286 HINGE ADAPTER WITH MODEL 6409, 180-DEGREE ATTACHMENT.
J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL.
K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE

- INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
- M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION.
- N. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
- O. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
- P. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
- Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.
- R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
- S. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO THE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
- T. BARBED WIRE GATE GUARDOS SHALL BE FITTED WITH DOME CAPS.
- U. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
- V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ADRN SHAPED AS REQUIRED BY PIPE SIZE.
- W. WHERE THE USE OF CONCERNITIA HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G6P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX (6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

- 1. INSPECTION
TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.
- 2. INSTALLATION
A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST.
B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ONE QUARTER (1/4) INCH
C. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
E. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH THE CLIPS AT TWO (2) FOOT INTERVALS.
F. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN THE CHAIN LINK FABRIC AND THE FINAL GRADE.
G. GATE SHALL BE INSTALLED 50 LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
H. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
I. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.
- 3. PROTECTION
UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS

- ASTM-A120 SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
- ASTM-A123 ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL FIFTEEN (15) INCH INTERVALS.
- ASTM-A153 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
- ASTM-A392 SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
- ASTM-A491 SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
- ASTM-A525 STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS. ASTM-A570 SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.
- ASTM-A535 SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.

FEDERAL SPECIFICATION FF-F-191 - FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)



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Continuation Sheet
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Wisconsin.



Signature: *Michael L. Pinske* Date: 7/28/2014

MARK	DATE	DESCRIPTION
D	07-20-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	05-21-14	S45 PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE NUMBER	PRELIMINARY	DATE ISSUED: 05/21/2014
PROJECT TITLE:		
BELOIT WATER UTILITY		
W12556		
FA ID #: 10080266		
PROJECT INFORMATION:		
2875 CRANSTON ROAD		
BELOIT, WI 53511		
ROCK COUNTY		
SHEET TITLE:		
NOTES		
SCALE: NONE		
PROJECT NUMBER	26912	
SHEET NUMBER	N-1	

A. EQUIPMENT PAD

1. FIRST TEST - SHALL BE WITH FOUR GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

B. TOWER

1. FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST - SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

C. EQUIPMENT PAD AND TOWER

1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL THE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPLETE A MEGGER CHECK OF THE GROUND SYSTEM, SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND. 10. GROUNDING RESISTANCE TEST REPORT UPON COMPLETION OF THE TESTING FOR EACH SITE. A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.
10. GROUNDING RESISTANCE TEST REPORT UPON COMPLETION OF THE TESTING FOR EACH SITE. A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS ARE OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

**SECTION 16503 - POLES, POSTS, AND STANDARDS
 (SINGLE MAST AND SELF-SUPPORTING TOWERS)**

1. GENERAL

- A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED.
- B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
- C. GROUNDING: GROUND TOWER WITH A MINIMUM OF #2 AWG THINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE. NON-EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT.

**SECTION 16745 - TELECOMMUNICATIONS WIRING COMPONENTS
 (COAXIAL ANTENNA CABLE)**

1. GENERAL

- A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
- B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS
- C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS

- A. COAXIAL CABLE:
 1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN

ANTENNAS AND EQUIPMENT PER MANUFACTURERS

RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURERS' REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.

2. ALL COAX RUN LENGTHS SHALL BE PER RF APPROVED DESIGN.
3. ANTENNA AND COAXIAL CABLE GROUNDING
 - A. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)
4. COAXIAL CABLE IDENTIFICATION
 - A. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLES, MARK CABLE:
 1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED)
 2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
 3. THIRD LOCATION IS OUTSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.
5. TESTING THE CONTRACTOR IS REQUIRED TO COMPLETE COAX SWEEPS PER CARRIER REQUIRED GUIDANCE. THE CONTRACTOR TO PROVIDE 96 HOUR ADVANCED NOTIFICATION TO CARRIER CONSTRUCTION MANAGER SO THAT OPERATIONS STAFF CAN BE ON-SITE TO SUPERVISE SWEEPS, IF REQUIRED.



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Michael L. Pinske 7/28/2014
 Date

MARK	DATE	DESCRIPTION
D	07-26-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	05-21-14	S45 PRELIMINARY CONSTRUCTION DRAWINGS

ISSUE PRELIMINARY DATE ISSUED 05/21/2014

PROJECT TITLE:
**BELOIT WATER UTILITY
 W12556
 FA ID #: 10080266**

PROJECT INFORMATION:
 2875 CRANSTON ROAD
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
NOTES

SCALE: NONE

PROJECT NUMBER: 26912
 SHEET NUMBER: N-3

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 DRAWN BY: JMS CHECKED BY: JLF

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A	05-21-14	S45 PRELIMINARY CONSTRUCTION DRAWINGS

MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE ISSUED: 05/21/2014

PROJECT TITLE: BELOIT WATER UTILITY W12556

FA ID #: 10080266

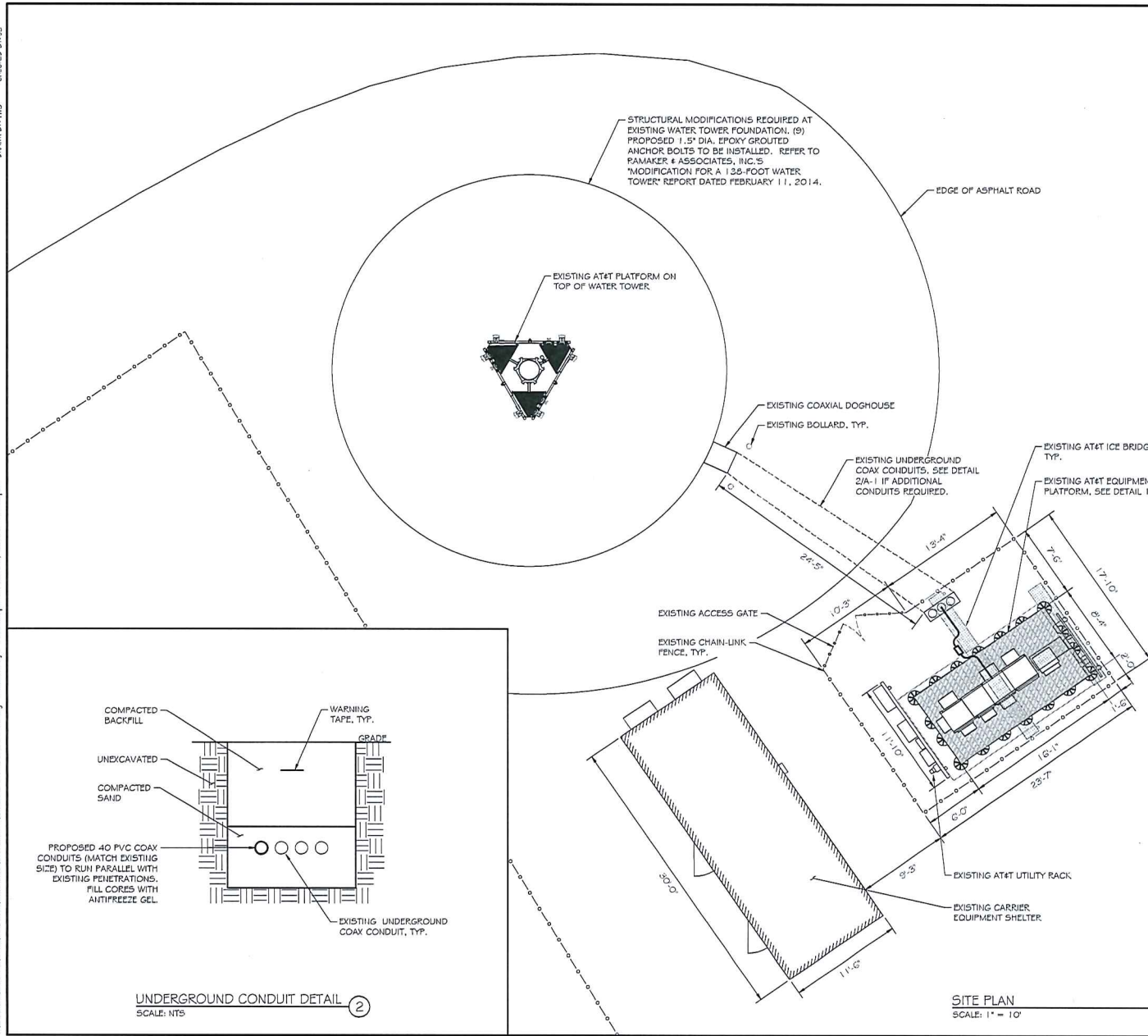
PROJECT INFORMATION
 2875 CRANSTON ROAD
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE: SITE PLAN



11" x 17" - 1" = 10'
 22" x 34" - 1" = 5'

PROJECT NUMBER: 26912
 SHEET NUMBER: A-1



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D	07-29-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	06-21-14	S&S PRELIMINARY CONSTRUCTION DRAWINGS

MARK	DATE	DESCRIPTION
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ISSUE PHASE: PRELIMINARY DATE ISSUED: 05/21/2014

PROJECT TITLE:
**BELOIT WATER UTILITY
 W12556**

FA ID #: 10080266

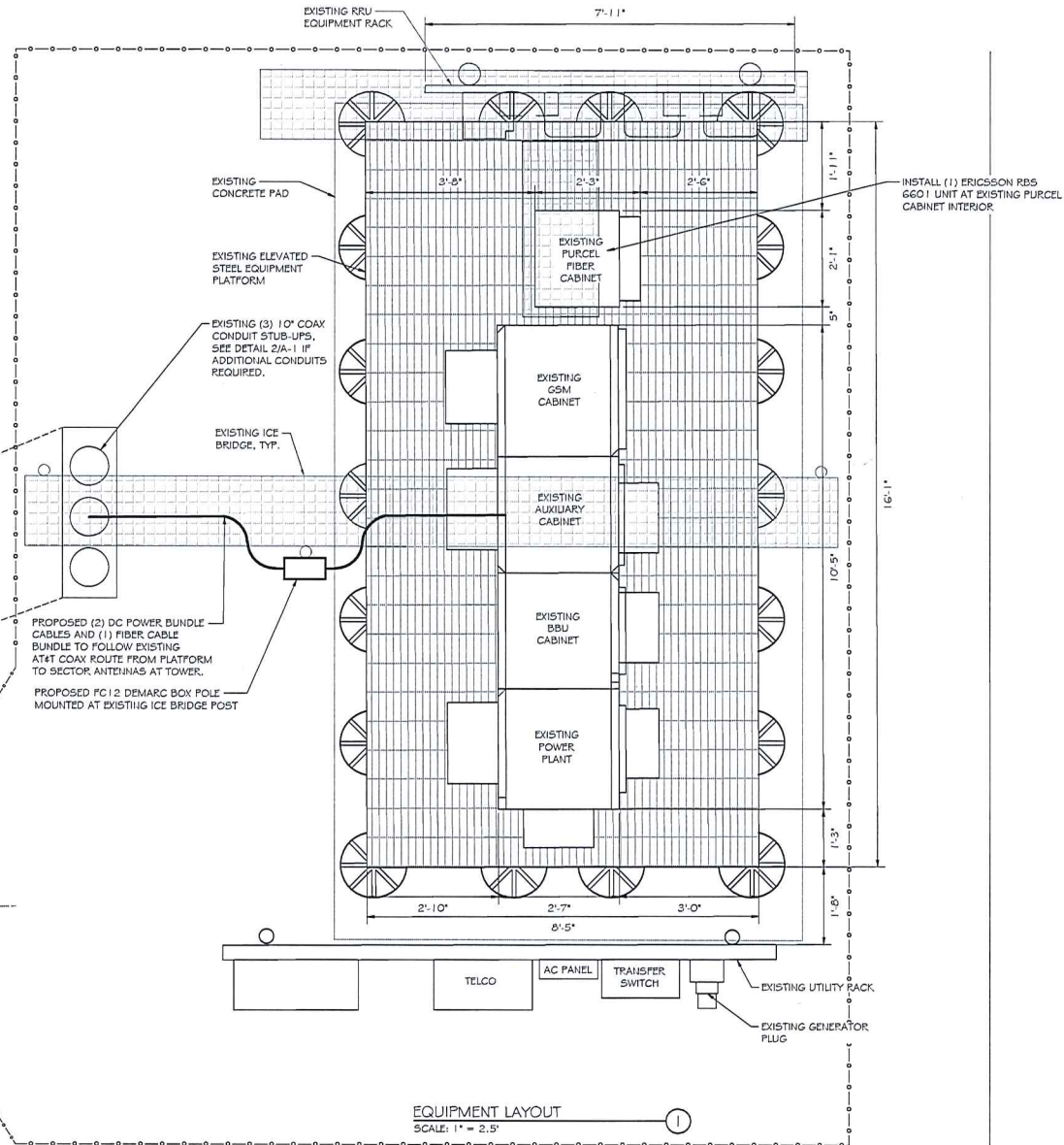
PROJECT INFORMATION
 2875 CRANSTON ROAD
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
EQUIPMENT LAYOUT



1 1/4" x 1 7/8" - 1" = 2.5'
 2 1/4" x 3 1/4" - 1" = 1.25'

PROJECT NUMBER: 26912
 SHEET NUMBER: A-2



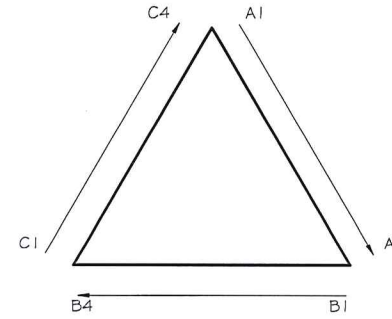
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CABLE MARKING COLOR CONVENTION TABLE

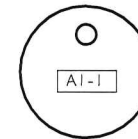
ALPHA, A, X, #1	A1-1 + 45	A1-2 - 45	A2-1 + 45	A2-2 - 45	A3-1 + 45	A3-2 - 45	A4-1 + 45	A4-2 - 45
SECTOR ANTENNA PORT	RED WHITE SLATE	RED WHITE BROWN	RED ORANGE SLATE	RED ORANGE BROWN	RED BROWN SLATE	RED BROWN BROWN	RED VIOLET SLATE	RED VIOLET BROWN
BAND (650/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
BETA, B, Y, #2	B1-1 + 45	B1-2 - 45	B2-1 + 45	B2-2 - 45	B3-1 + 45	B3-2 - 45	B4-1 + 45	B4-2 - 45
SECTOR ANTENNA PORT	BLUE WHITE SLATE	BLUE WHITE BROWN	BLUE ORANGE SLATE	BLUE ORANGE BROWN	BLUE BROWN SLATE	BLUE BROWN BROWN	BLUE VIOLET SLATE	BLUE VIOLET BROWN
BAND (650/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
GAMMA, C, Z, #3	C1-1 + 45	C1-2 - 45	C2-1 + 45	C2-2 - 45	C3-1 + 45	C3-2 - 45	C4-1 + 45	C4-2 - 45
SECTOR ANTENNA PORT	GREEN WHITE SLATE	GREEN WHITE BROWN	GREEN ORANGE SLATE	GREEN ORANGE BROWN	GREEN BROWN SLATE	GREEN BROWN BROWN	GREEN VIOLET SLATE	GREEN VIOLET BROWN
BAND (650/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET
DELTA, D, #4	D1-1 + 45	D1-2 - 45	D2-1 + 45	D2-2 - 45	D3-1 + 45	D3-2 - 45	D4-1 + 45	D4-2 - 45
SECTOR ANTENNA PORT	YELLOW WHITE SLATE	YELLOW WHITE BROWN	YELLOW ORANGE SLATE	YELLOW ORANGE BROWN	YELLOW BROWN SLATE	YELLOW BROWN BROWN	YELLOW VIOLET SLATE	YELLOW VIOLET BROWN
BAND (650/1900)	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET	ORANGE / VIOLET

NOTES:

- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE.
- ALL COLOR BANDS INSTALLED AT THE TOWER TOP SHALL BE A MINIMUM OF 3" WIDE AND SHALL HAVE A MINIMUM OF " OF SPACING BETWEEN EACH COLOR.
- ALL COLOR BANDS INSTALLED AT OR NEAR THE GROUND MAY BE ONLY " WIDE. EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
- EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH " COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
- ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF " BANDS ON EACH END OF THE BOTTOM JUMPER.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE TO SIDE.
- EACH COLOR BAND SHALL HAVE A MINIMUM OF (3) WRAPS AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
- X-POLE ANTENNAS SHOULD USE "X-1" FOR THE "+45" PORT, "X-2" FOR THE "-45" PORT.
- COLOR BAND #4 REFERS TO THE FREQUENCY BAND; ORANGE= 650, VIOLET= 1900. USED ON JUMPERS ONLY.
- RF FEEDLINE SHALL BE IDENTIFIED WITH A METAL TAG (STAINLESS OR BRASS) AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER.
- ANTENNAS MUST BE IDENTIFIED USING THE SECTOR LETTER AND ANTENNA NUMBER WITH A BLACK MARKER PRIOR TO INSTALLATION.
- TO PROVIDE ADDITIONAL IDENTIFICATION RF CABLES SHALL BE IDENTIFIED WITH A METAL TAG MADE OF STAINLESS STEEL OR BRASS AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER. THE ID MARKING LOCATIONS SHOULD BE AS PER "CABLE MARKING LOCATIONS TABLE". THE TAG SHOULD BE ATTACHED WITH CORROSIVE PROOF WIRE OR WAX STRING AROUND THE CABLE. THE TAG SHOULD BE LABELED AS SHOWN IN DETAIL 2/A-9.



ANTENNA ORIENTATION
 SCALE: NTS



TAG DETAIL EXAMPLE
 SCALE: NTS

CABLE MARKING LOCATIONS TABLE		
TAPE	TAG	LOCATIONS
X		EACH TOP JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
X		EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
	X	MARKING TAGS SHALL BE ATTACHED AT CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
X		ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF BOTTOM JUMPER.

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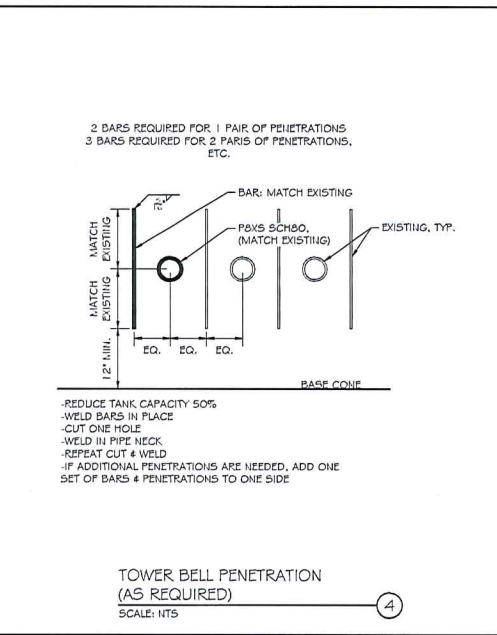
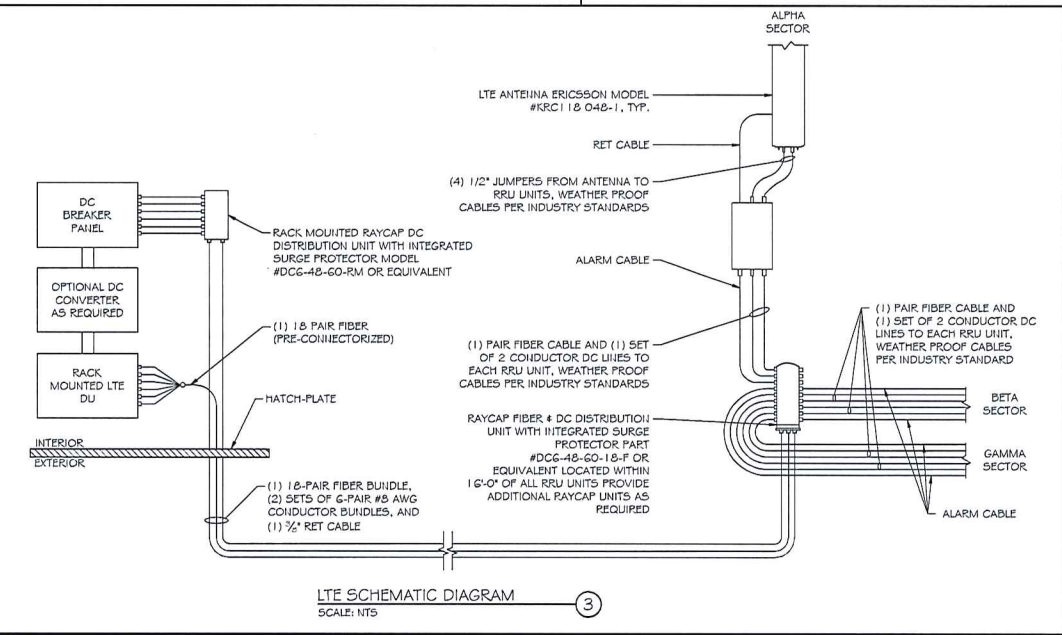
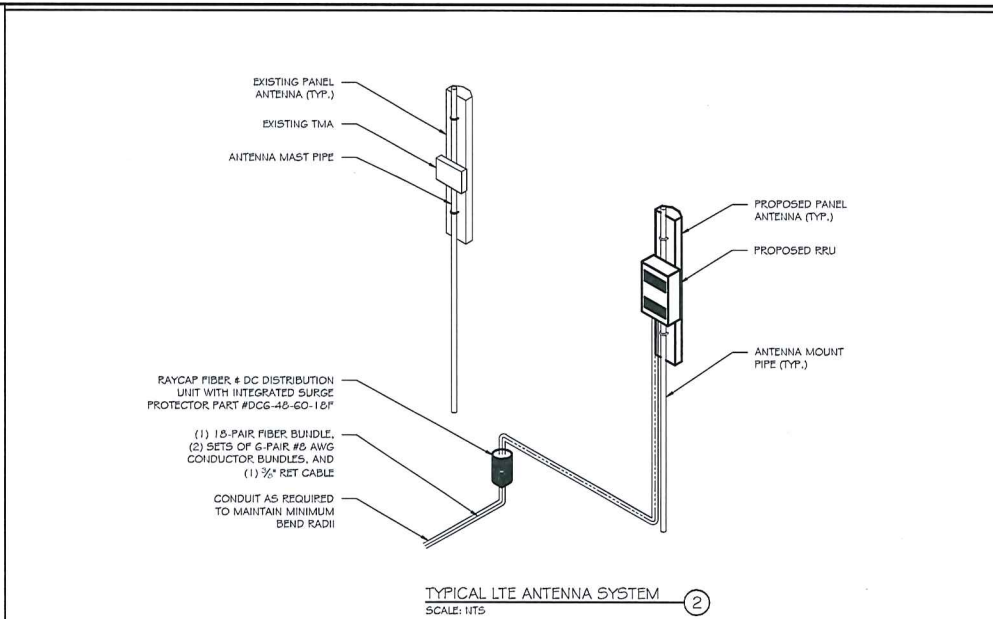
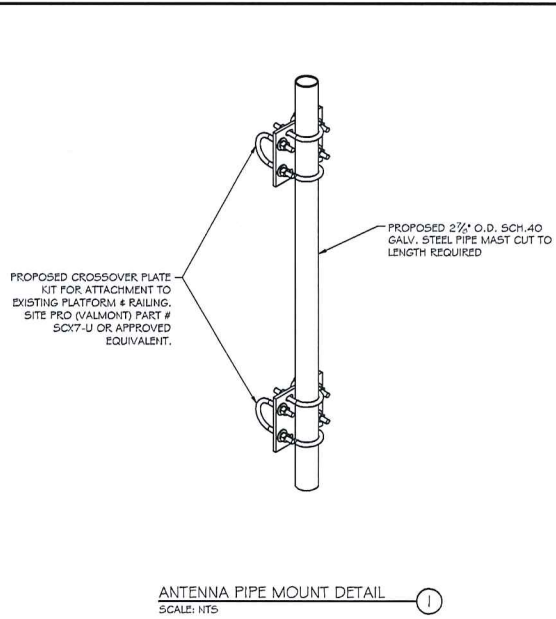



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Michael L. Pinske 7/28/2014
 Digital Signature


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A	05-21-14	S45 PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE ISSUED: 05/21/2014
PROJECT TITLE:		
BELOIT WATER UTILITY W12556 FA ID #: 10080266		
PROJECT INFORMATION: 2875 CRANSTON ROAD BELOIT, WI 53511 ROCK COUNTY		
SHEET TITLE: COAX COLOR CODING		
SCALE: NONE		
PROJECT NUMBER	26912	
SHEET NUMBER	A-4	





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WISCONSIN
MICHAEL L. PINSKE
36387
MIDDLETON, WI
PROFESSIONAL ENGINEER

Michael L. Pinske 7/28/2014
Date: _____

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ISSUE	PRELIMINARY	DATE ISSUED: 05/21/2014
PROJECT TITLE: BELOIT WATER UTILITY W12556 FA ID #: 10080266		
PROJECT INFORMATION: 2875 CRANSTON ROAD BELOIT, WI 53511 ROCK COUNTY		
SHEET TITLE: ANTENNA DETAILS		
SCALE: NONE		
PROJECT NUMBER	26912	
SHEET NUMBER	A-5	

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FIBER # DC CABLE NUMBERING							
FIBER CABLE PAIR	TECHNOLOGY	BAND	SECTOR	RRH NUMBER	RADIO NAME	DC TRUNK #1	SQUID SURGE UNIT
1	LTE	700	A	RRH-A1	LTE-700-A-RRH-A1	DC TRUNK #1 RED/BK BLUE TRACER	MAIN A-1
2	LTE	AWS	A	RRH-A2	LTE-AW-A-RRH-A2	DC TRUNK #2 RED/BK BLUE TRACER	MAIN B-1
3	LTE/UMTS	850 / 1900	A	RRH-A3	LTE/UMTS-850 / 1900-A-RRH-A3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
4	SPARE	N/A	A	N/A	SECTOR "A" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE
5	LTE	700	B	RRH-B1	LTE-700-B-RRH-B1	DC TRUNK #1 RED/BK ORANGE TRACER	MAIN A-2
6	LTE	AWS	B	RRH-B2	LTE-700-B-RRH-B2	DC TRUNK #2 RED/BK ORANGE TRACER	MAIN B-2
7	LTE/UMTS	850 / 1900	B	RRH-B3	LTE/UMTS-850 / 1900-B-RRH-B3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
8	SPARE	N/A	B	N/A	SECTOR "B" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE
9	LTE	700	C	RRH-C1	LTE-700-C-RRH-C1	DC TRUNK #1 RED/BK GREEN TRACER	MAIN A-3
10	LTE	AWS	C	RRH-C2	LTE-700-C-RRH-C2	DC TRUNK #2 RED/BK GREEN TRACER	MAIN B-3
11	LTE/UMTS	850 / 1900	C	RRH-C3	LTE/UMTS-850 / 1900-C-RRH-C3	DC TRUNK #3 RED/BK BLUE TRACER	FUTURE
12	SPARE	N/A	C	N/A	SECTOR "C" SPARE	DC TRUNK #4 RED/BK BLUE TRACER	FUTURE



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A	02-21-14	CAS PRELIMINARY CONSTRUCTION DRAWINGS

MARK	DATE	DESCRIPTION
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ISSUE PRELIMINARY DATE ISSUED: 05/21/2014

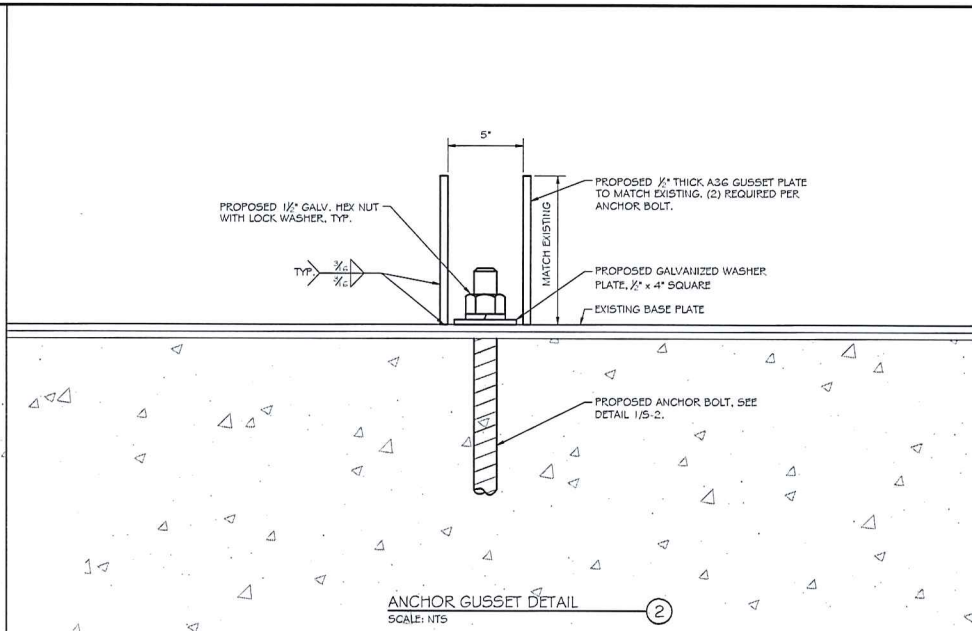
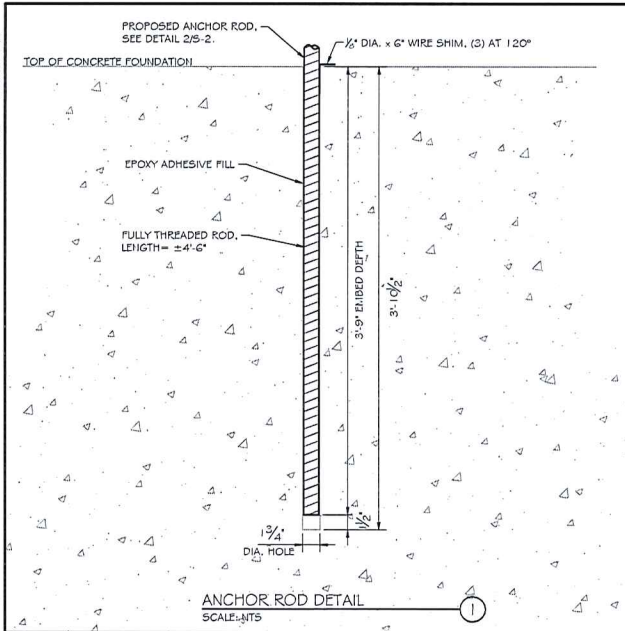
PROJECT TITLE:
**BELOIT WATER UTILITY
 WI2556
 FA ID #: 10080266**

PROJECT INFORMATION:
 2875 CRANSTON ROAD
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
**FIBER COLOR CODING #
 NUMBERING**

SCALE: NONE

PROJECT NUMBER: 26912
 SHEET NUMBER: A-6



TOWER MODIFICATION NOTES:

EPOXY CURED REINFORCING ANCHOR RODS

- UNLESS OTHERWISE NOTED, REINFORCING ANCHOR RODS SHALL BE ALL-THREAD BAR CONFORMING TO ASTM #1254-36.
- THE TOP PROJECTION + 3" OF EMBEDDED ANCHOR SHALL BE HOT DIP GALVANIZED PER ASTM A153.
- THE CORE-DRILLED HOLES IN THE CONCRETE FOR THE ANCHOR RODS SHALL BE CLEAN AND DRY, AND OTHERWISE PROPERLY PREPARED ACCORDING TO THE ANCHOR ROD AND EPOXY MANUFACTURERS' INSTRUCTIONS, PRIOR TO PLACEMENT OF ANCHOR RODS AND EPOXY. CONTRACTOR SHALL FOLLOW ALL ANCHOR ROD AND EPOXY MANUFACTURER RECOMMENDATIONS REGARDING HANDLING OF RESIN, EPOXY, ACCEPTABLE AMBIENT TEMPERATURE RANGE DURING INSTALLATION AND POST-INSTALLATION CURING, THE EFFECT OF TEMPERATURE ON EPOXY CURING TIME, PREPARATION OF HOLE, PREPARATION OF ANCHOR ROD ETC. THE HOLE IS TO BE DRILLED WITHIN A FLUORESCENCE TOLERANCE OF 1/8" PER 12" OF LENGTH.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, MILT HIT RE-500 OR SHADUR 32 HI-MOD EPOXY SHALL BE USED TO ANCHOR THE ANCHOR ROD IN THE DRILL HOLES. AS NOTED ABOVE, FOLLOW ALL EPOXY MANUFACTURER'S RECOMMENDATIONS REGARDING HANDLING OF EPOXY, ACCEPTABLE AMBIENT TEMPERATURE RANGE DURING INSTALLATION AND POST-INSTALLATION CURING, THE EFFECT OF TEMPERATURE ON EPOXY CURING TIME, PREPARATION OF HOLE, ETC.
- CONTRACTOR SHALL TIGHTEN ALL HEAVY HEX ANCHOR NUTS TO SNUG TIGHT PLUS 1/2" TURN OF NUT AFTER FULL STRENGTH OF EPOXY HAS BEEN ACHIEVED PER THE MANUFACTURERS' GUIDELINES.

HOT DIP GALVANIZING

- HOT-DIP GALVANIZE ALL STRUCTURAL STEEL MEMBERS AND ALL STEEL ACCESSORIES, BOLTS, WASHERS, ETC. PER ASTM A123 OR PER ASTM A153, AS APPROPRIATE.
- PROPERLY PREPARE STEEL ITEMS FOR GALVANIZING.
- DRILL OR PUNCH WELD ANCHOR DRAINAGE HOLES AS REQUIRED.
- ALL GALVANIZING SHALL BE DONE AFTER FABRICATION IS COMPLETED AND PRIOR TO FIELD INSTALLATION.

WATER TOWER PAINT AND WELDING NOTES:

SURFACE PREPARATION

- ALL DAMAGED AREAS FROM THE ANTENNA INSTALLATION SHALL BE SPOT CLEANED IN ACCORDANCE WITH THE FOLLOWING INSTRUCTION.
- SPOT CLEAN DAMAGED AREAS, INTERIOR AND EXTERIOR, IN BASE METAL (SATHER SAND ALL EDGES).
- ALL GALVANIZED SURFACES SHALL BE ROUGHENED WITH COARSE SAND PAPER AND SOLVENT CLEANED.

CLIMATE CONDITIONS

- DO NOT APPLY PAINT WHEN THE TEMPERATURE, AS MEASURED IN THE SHADE, IS BELOW THE MANUFACTURER'S REQUIRED AMBIENT AND SURFACE TEMPERATURES.
- DO NOT APPLY PAINT (INTERIOR OR EXTERIOR) TO WET OR DAMP SURFACES, OR DURING RAIN, SNOW, OR FOG.
- DO NOT APPLY PAINT WHEN IT IS EXPECTED THAT THE RELATIVE HUMIDITY WILL EXCEED 85%, OR THE SURFACE TEMPERATURE IS LESS THAN 5 DEGREES ABOVE DEW POINT, OR THE AIR TEMPERATURE WILL DROP BELOW THE MANUFACTURER'S REQUIREMENTS FOR PROPER CURE. ANTICIPATE DEW OR MOISTURE CONDENSATION, AND IF SUCH CONDITIONS ARE PREVALENT DELAY PAINTING UNTIL THE OWNER IS SATISFIED THE SURFACES ARE DRY.

APPLICATION

- COMPLETE ALL PAINTING AND SURFACE PREPARATION IN STRICT ACCORDANCE WITH APPROVED PAINT MANUFACTURER'S SPECIFICATIONS, AND GOOD PAINTING PRACTICES OF SETC.
- ALLOW SUFFICIENT TIME FOR EACH COAT OF PAINT TO DRY AND CURE. ALLOW A MINIMUM OF TWENTY-FOUR (24) HOURS BETWEEN COATS, OR AS REQUIRED BY THE MANUFACTURER.
- APPLY COATING BY BRUSH AND ROLLER ONLY. SPRAY APPLICATION IS NOT PERMITTED WITHOUT APPROVAL. EVEN WITH PRIOR APPROVAL, RESPONSIBILITY FOR DAMAGE STILL REMAINS WITH THE CONTRACTOR.
- COATINGS SHALL BE APPLIED USING METHODS TO ELIMINATE ROLLER MARKS IN THE FINISHED PRODUCT ON THE EXTERIOR.
- ADDITIONAL COATS REQUIRED FOR COVERAGE OR TO ELIMINATE ROLLER MARKS ARE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

ACRYLIC URETHANE (4) COAT SYSTEM- SPOT EXTERIOR

- APPLY A FOUR (4) COAT URETHANE SYSTEM TO ALL SPOT PREPARED SURFACES.
- SPOT CLEANING AND PAINT REQUIREMENTS HAVE BEEN PREVIOUSLY DEFINED. APPLY ALL COATINGS BY BRUSH OR ROLLER. SPRAY APPLICATION IS PROHIBITED.
- APPLY THE COATING AT THE FOLLOWING RATES:

COAT	TNEMEC SERIES	MIN. D.P.F.T.	MAX. D.P.F.T.
PRIMER	65	2.0 MILS	3.0 MILS
INTERMEDIATE	66	2.0 MILS	3.0 MILS
TOPCOAT	74	2.0 MILS	3.0 MILS
TOPCOAT	74	2.0 MILS	3.0 MILS
TOTAL:		8.0 MILS	11 MILS*

*THE TOTAL MINIMUMS ADD, BUT THE MAXIMUMS DO NOT. THE MAXIMUM CANNOT BE ACHIEVED ON EVERY COAT.

- APPLY FINISH COLOR: TNEMEC, PA2.1, POPCOEN

2 COAT EPOXY- SPOT DRY INTERIOR REPAIRS

- APPLY TO ALL SPOT PREPARED AREAS A TWO COAT EPOXY SYSTEM.
- APPLY AN EPOXY PRIMER COAT (BEIGE) AND AN EPOXY TOP COAT (WHITE).
- APPLY EACH COAT AT THE FOLLOWING RATES:

COAT	TNEMEC SERIES	MIN. D.P.F.T.	MAX. D.P.F.T.
PRIMER	7G20-1255	3.0 MILS	5.0 MILS
TOPCOAT	7G20-WHD2	4.0 MILS	6.0 MILS
TOTAL:		7.0 MILS	11.0 MILS*

*THE TOTAL MINIMUMS ADD, BUT THE MAXIMUMS DO NOT. THE MAXIMUM CANNOT BE ACHIEVED ON EVERY COAT.

- EACH COAT SHALL BE THE COLOR SPECIFIED AND SHALL APPROVED BY ENGINEER.

- NO COLOR BLEED-THROUGH SHOULD OCCUR IF PROPER APPLICATION RATES ARE OBSERVED. ALL COATS SHALL BE UNIFORM IN COLOR AND SHEEN WITHOUT STREAKS, LAPS, RUNS, SAGS, CLOUDY, OR MOTTLED AREAS.
- A MINIMUM OF TWENTY-FOUR (24) HOURS SHALL BE ALLOWED BETWEEN COATS.
- PROTECT ALL AREAS NOT REQUIRING PAINTING, INCLUDING ALL ELECTRICAL BOXES FOR THE CONTROLS, CATHODIC PROTECTION RECTIFIERS, RELAY ANTENNAS, INSULATION, CONDUIT, SAFETY DEVICES, ETC.

GENERAL NOTES:

HEALTH AND SAFETY

- CONTRACTOR SHALL PROVIDE ALL SAFETY EQUIPMENT AND FALL PROTECTION TO INSURE THE SAFETY OF ON SITE PERSONNEL DURING CONSTRUCTION.
- ACCESS TO THE TANK INTERIOR WATER COMPARTMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE WATER DEPARTMENT SUPERVISOR. PRECAUTIONS SHALL BE TAKEN TO PREVENT WATER CONTAMINATION.
- THE PAINT SYSTEM SHALL BE CHECKED FOR HAZARDOUS METALS, WHERE HAZARDOUS METALS ARE FOUND IN THE PAINT SYSTEM. THE ENVIRONMENT AND WORKERS MUST BE PROTECTED FROM CONTAMINATION.

GENERAL WELDING

- ALL WELDING SHALL BE IN ACCORDANCE WITH AWWA D100 SEC. 6, WELDING AND SEC. 11, INSPECTION AND TESTING.
- ALL WELDS TO THE TANK SURFACE SHALL BE MADE WITH E7018 LOW HYDROGEN ROD AND SHALL BE SMOOTH AND FREE OF BURRS AND UNDERCUTS. UNACCEPTABLE WELDS SHALL BE PREPARED AS REQUIRED TO MEET AWWA D100 REQUIREMENTS.
- NO WELDING SHALL BE DONE WHEN THE AMBIENT TEMPERATURE IS BELOW 32 DEGREE FAHRENHEIT UNLESS THE REQUIREMENTS OF AWWA D100, SEC. 10.2.1 ARE FOLLOWED.
- WELDING TO THE TANK OR ACCESS TUBE OPPOSITE THE WATER LEVEL IS NOT PERMITTED. THE WATER LEVEL SHALL BE DRAWN DOWN TO A LEVEL LOW FEET BELOW THE POINT OF WELDING.
- WELDING MAY CAUSE BUSTERS OF THE INTERIOR PAINT OPPOSITE THE WELD. DAMAGED PAINT SURFACES SHOULD BE TOUCHED UP WHEN THE TANK IS TAKEN OUT OF SERVICE FOR ITS ANNUAL INSPECTION. EXTERIOR PAINT DAMAGE SHALL BE REPAIRED AFTER COMPLETION OF THE ANTENNA INSTALLATION, AND SHALL BE COMPATIBLE WITH THE EXISTING PAINT SYSTEM.
- GALVANIZED COMPONENTS SHALL NOT BE WELDED DIRECTLY TO THE TANK SURFACE. OTHER GALVANIZED SURFACES SHALL BE GROUND FREE OF GALVANIZING BEFORE WELDING.
- TUBULAR COLUMNS ARE HERMETICALLY SEALED AND MUST NOT BE BREACHED (PUNCTURED) UNDER ANY CIRCUMSTANCES.

REFER TO "MODIFICATION FOR A 138-FOOT WATER TOWER" REPORT BY RAMAKER & ASSOCIATES, INC. DATED FEBRUARY 11, 2014.



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 Phone: 608-643-4100 Fax: 608-643-7999
 www.Ramaker.com



Certification Seal
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinsky 7/28/2014
 (Date)

NO.	DATE	DESCRIPTION
0	07-26-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	05-21-14	545 PRELIMINARY CONSTRUCTION DRAWINGS

PROJECT TITLE:
**BELOIT WATER UTILITY
 W12556
 FA ID #: 10080266**

PROJECT INFORMATION:
 2875 CRANSTON ROAD
 BELOIT, WI 53511
 ROCK COUNTY

SHEET TITLE:
TOWER MODIFICATIONS

SCALE: NONE

PROJECT NUMBER	26912
SHEET NUMBER	5-2

11/26/2008 09:21:21 CAD/Telecom/AutoCAD/ITE 2011/12/26/12 ITE 2011/12/26/12 11:47 AM Printed by: achesteph on Jul 28, 2014 - 1:47 PM
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 DRAWN BY: JMS CHECKED BY: JMS

GROUNDING SPECIFICATIONS:

1. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
2. ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
3. GROUNDING CONNECTIONS SHALL BE EXOTHERMIC (CADWELDED) TO ANTENNA MASTS, FENCE POSTS, AND GROUND RODS UNLESS NOTED OTHERWISE. CLEAN SURFACES TO SHINE METAL WHERE GROUND WIRES ARE CADWELDED TO GALVANIZED SURFACES. SPRAY CADWELDED WITH GALVANIZING PAINT. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION/MECHANICAL FITTINGS.
4. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEHIND GROUNDING LEADS WITH A MINIMUM 6" RADIUS.
5. WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN * PVC SLEEVE, FROM 1'-0" MIN. ABOVE GRADE AND SEAL TOP WITH SILICONE MATERIAL. GROUNDING CONDUCTORS SHALL BE RUN THROUGH * PVC SLEEVE WHERE ROUTED THROUGH WALLS, FLOORS, AND CEILING AND/OR ABOVE EXTERIOR GRADE. ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.
6. SURFACE CONNECTIONS SHALL BE MADE TO BARE METAL. PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION. APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
7. GROUNDING WIRE CONNECTIONS SHALL BE 3-CRIMP C-TAP COMPRESSION TYPE. SPLIT BOLTS ARE NOT ACCEPTABLE.
8. GROUND RODS SHALL BE COPPER CLAD STEEL *1/0" SPACE NOT LESS THAN 10' O.C.
9. CONNECTORS SHALL BE CRIMPED USING HYDRAULIC CRIMPING TOOLS.
10. COPPER BUSES SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED
11. COPPER WILL BE PERMITTED.
12. HARDWARE (I.E. NUTS, BOLTS, WASHERS, ETC.) IS TO BE STAINLESS STEEL.
13. THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDED USING LOCKNUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTORS. RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDED WITH A FULL SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUITS CONDUIT.
14. INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUS IN THE PANEL BOARD.
15. GROUND BARS (SECTOR, COLLECTOR, MASTER) SHALL BE MIN. BARE * 4" COPPER AND LARGE ENOUGH TO ACCOMMODATE THE REQUIRED NUMBER OF GROUND CONNECTIONS. THE HARDWARE SECURING THE MGB SHALL ELECTRICALLY INSULATE THE MGB FROM ANY STRUCTURE TO WHICH IT IS FASTENED.
16. APPLY THOMAS # BETSS KOPR-SHIELD OR APPROVED EQUIVALENT PRIOR TO MAKING MECHANICAL CONNECTIONS.
17. SHALL BE MADE WITH STAINLESS STEEL BOLTS, NUTS AND LOCK WASHERS * DIAMETER MIN. WHERE GALVANIZING IS REMOVED FROM METAL IT SHALL BE PAINTED OR TOUCHED UP WITH 'GALVONOX' OR EQUAL.
18. ALL TERMINATIONS AT EQUIPMENT ENCLOSURES, PANELS, FRAMES OF EQUIPMENT AND WHERE EXPOSED FOR GROUNDING
19. CONDUCTOR TERMINATION SHALL BE PERFORMED UTILIZING TWO HOLE BOLTED TONGUE COMPRESSION TYPE WITH STAINLESS STEEL SELF-TAPPING SCREWS.
20. ALL CLAMPS AND SUPPORTS USED TO SUPPORT THE GROUNDING SYSTEM CONDUCTOR AND PVC CONDUITS SHALL BE PVC TYPE (NON-CONDUCTIVE), DO NOT USE METAL BRACKETS OR SUPPORTS WHICH WOULD FORM A COMPLETE RING AROUND ANY GROUNDING CONDUCTOR.
21. THE CONTRACTOR SHALL ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT RESISTANCE TO EARTH DOES NOT EXCEED 5.0 OHMS. PROVIDE A COPY OF TESTING REPORT, INCLUDING THE METHOD AND INSTRUMENTS USED TO VERIFY RESISTANCE TO AT&T REPRESENTATIVE.
22. COAX CABLE SHALL BE GROUNDED AT ANTENNA LEVEL WITHIN 5' OF ANTENNA. COAX WILL ADDITIONALLY BE GROUNDED AT THE BASE OF THE TOWER. 18" BEFORE THE CABLE REACHES A HORIZONTAL PLANE. IF EQUIPMENT CABINET IS MORE THAN 18" FROM THE TOWER AN ADDITIONAL GROUND KIT WILL BE ADDED 2'-4" BEFORE CABLE ENTERS CABINET.
23. ALL COAX GROUND KITS WILL BE ANDREW 'COMPACT SURE GROUND' OR APPROVED EQUIVALENT.
24. VERIFY THE GROUNDING CONTINUITY BETWEEN THE TOWER BASE AND THE NEW AT&T CABINET GROUND BAR. CONTRACTOR SHALL ENSURE THAT ALL METALLIC OBJECTS WITHIN GROUND CABINET HAVE GROUNDING CONTINUITY. THE CONTRACTOR SHALL CORRECT ANY DEFECTS BY ADDING GROUNDING CONDUCTOR TO ENSURE CONTINUITY. 22. GROUNDING CONDUCTORS SHALL BE COPPER ONLY. EITHER SOLID OR STRANDED CONDUCTORS ARE PERMITTED. ALL EXTERNAL BURIED CONDUCTORS MUST BE BARE. EQUIPMENT GROUND LEADS IN CABLE TRAYS MUST BE GREEN INSULATED. 23. CONTRACTOR TO PROVIDE GROUND WIRES, BARS, AND CONNECTORS AS SHOWN ON GROUNDING RISER DIAGRAM.
25. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-0007.1.
26. CONNECTIONS TO THE GROUND BAR SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUSS ARE PERMITTED.
27. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH NEC, SHALL BE FURNISHED AND INSTALLED WITH POWER CIRCUITS TO BTS EQUIPMENT.

28. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
29. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 6 INCHES.
30. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH NEC.
31. GROUND ALL RF EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA'S, ANTENNAS, AND ANTENNA MAST PER NEC AND AT&T HD-0007.1.

GENERAL NOTES:

1. OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO AT&T.
2. SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FAILED INSPECTION.
3. REDLINED AS-BUILTS ARE TO BE DELIVERED TO AT&T REPRESENTATIVE.
4. PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
5. FURNISH AND INSTALL THE COMPLETE ELECTRICAL SYSTEM, TELCO SYSTEM, AND THE GROUNDING SYSTEM AS SHOWN ON THESE DRAWINGS.
6. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. INSTALLED IN A NEAT MANNER AND SHALL BE SUBJECT TO APPROVAL BY AT&T.
7. CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
8. PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
9. REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE SITE OWNERS REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY. USE OF THE PROPERTY'S DUMPSTER IS PROHIBITED.
10. CONTRACTOR TO CONFIRM AVAILABLE CAPACITY AT EXISTING UTILITY PEDESTAL AND ADVISE ENGINEER OF SERVICE SIZE AND FAULT CURRENT LEVEL.
11. IF PEDESTAL DOES NOT HAVE ADEQUATE CAPACITY, CONTRACTOR TO SUBMIT COST QUOTATION TO UPGRADE. UPON APPROVAL OF SUBMITTED COST QUOTATION, THE CONTRACTOR SHALL PROVIDE NEW SERVICE AND/OR UPGRADE SERVICE. FEEDERS AND EQUIPMENT/ELECTRODE GROUNDING CONDUCTORS SIZE ACCORDINGLY.
12. CONTRACTOR SHALL VERIFY SEPARATION DIMENSION BETWEEN POWER COMPANY ELECTRICAL CONDUITS AND LP GAS PIPES AS PER UTILITY COMPANY. LOCAL CODES, NEC, IUPFA, AND GAS TANK MANUFACTURERS SPECIFICATION.
13. CONTRACTOR SHALL VERIFY THAT THE TOTAL NUMBER OF SERVICE ENTRANCE DISCONNECTS IN THE EXISTING UTILITY COMPANY PEDESTAL MUST NOT EXCEED SIX. IF THE NEW SERVICE ADDED EXCEEDS THIS VALUE, CONTRACTOR MUST COORDINATE WITH THE UTILITY COMPANY AND AUTHORITY HAVING JURISDICTION. THE RUNNING OF AN ADDITIONAL EXCLUSIVE AND DEDICATED SERVICE LATERAL SET FOR THE NEW LOAD ADDED TO THE COMPOUND AS PER IEC ARTICLE 230-2(B).
14. THE EQUIPMENT PROTECTIONS MUST BE RATED FOR STANDARD AIC RATE HIGHER THAN INCOMING EQUIPMENT AND/OR UTILITY COMPANY AIC RATE.



RAMAKER & ASSOCIATES, INC.
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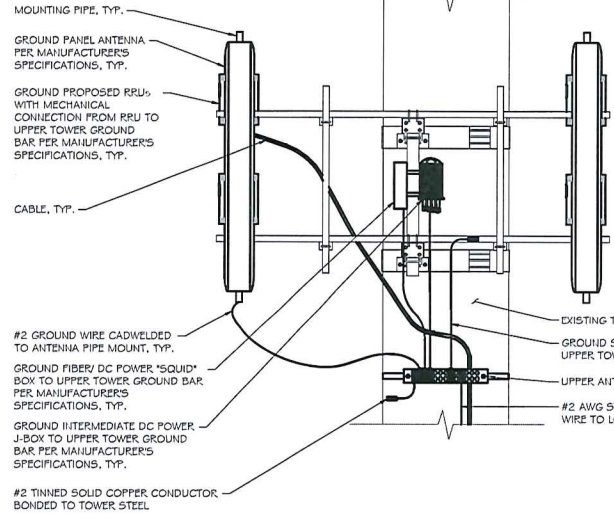
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinsky 7/28/2014
 Date

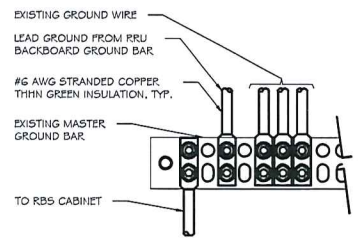
0	07-28-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	05-21-14	S&S PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	PHASE	DATE ISSUED
	PRELIMINARY	05/21/2014
PROJECT TITLE:		
BELOIT WATER UTILITY		
W12556		
FA ID #: 10080266		
PROJECT INFORMATION:		
2875 CRANSTON ROAD		
BELOIT, WI 53511		
ROCK COUNTY		
SHEET TITLE:		
UTILITY NOTES		
SCALE: NONE		
PROJECT NUMBER:	26912	
SHEET NUMBER:	E-1	

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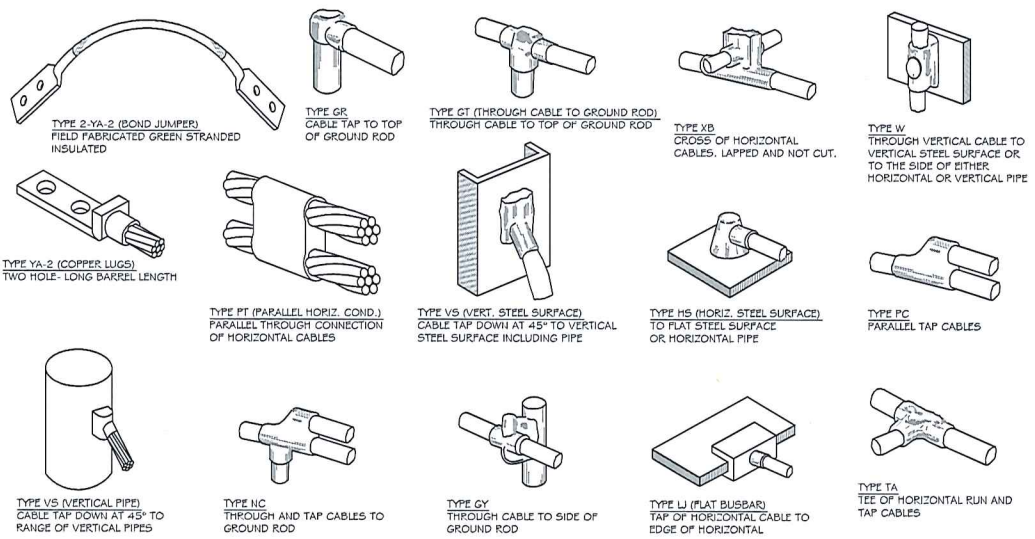


- NOTES:
1. USE 2-HOLE CONNECTOR
 2. USE EXTERNAL ANTI-OXIDATION COMPOUND.
 3. PAINT WITH COLD GALV. COMPOUND AFTER BONDING.
 4. MID-LEVEL GROUND BAR REQUIRED FOR RAD CENTERS > 300' AGL

ANTENNA SECTOR GROUNDING
 SCALE: NTS



TYPICAL MASTER GROUND BAR DETAIL
 SCALE: NTS



EXOTHERMIC WELD DETAILS
 SCALE: NTS

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Certification Seal
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



Michael L. Pinske 7/28/2014
 Date

D	07-28-14	FINAL CONSTRUCTION DRAWINGS ISSUED
A	05-21-14	S&S PRELIMINARY CONSTRUCTION DRAWINGS
MARK	DATE	DESCRIPTION
ISSUE	PRELIMINARY	DATE REVISED: 05/21/2014
PROJECT TITLE:		
BELOIT WATER UTILITY W12556		
FA ID #: 10080266		
PROJECT INFORMATION:		
2875 CRANSTON ROAD		
BELOIT, WI 53511		
ROCK COUNTY		
SHEET TITLE:		
UTILITY & GROUNDING DETAILS		
SCALE: NONE		
PROJECT NUMBER	26912	
SHEET NUMBER	E-2	

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**RESOLUTION ADOPTING A COLLECTIVE BARGAINING AGREEMENT
BETWEEN THE CITY OF БЕЛОIT AND THE WISCONSIN PROFESSIONAL POLICE
ASSOCIATION/LAW ENFORCEMENT EMPLOYEE RELATIONS DIVISION
(WPPA/LEER)**

WHEREAS, the City of Beloit has had Collective Bargaining Agreements in place with WPPA/LEER that outlined various terms and conditions of employment; and

WHEREAS, the current Agreement expired on December 31, 2013; and

WHEREAS, the city and bargaining representatives from the Local have concluded negotiations on a new four-year Collective Bargaining Agreement, which will take effect on January 1, 2014 and conclude on December 31, 2017;

NOW, THEREFORE, BE IT RESOLVED, by the Beloit City Council that the City Manager be, and he hereby is, authorized to enter into a Collective Bargaining Agreement with WPPA/LEER for the calendar years 2014 through 2017; and

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the terms and conditions of the new four-year agreement shall be as outlined in the attached "Tentative Agreement" summarizing the terms of agreement.

Adopted this 17th day of November, 2014.

City Council of the City of Beloit

Mark Spreitzer, President

Attest:

Rebecca Houseman LeMire, City Clerk

att

CITY OF BELOIT

REPORTS AND PRESENTATIONS TO CITY COUNCIL

Topic: WPPA/LEER Police Union Agreement for 2014-2017

Date: November 17, 2014

Presenter(s): Joe Simpson

Department: Human Resources

Overview/Background Information:

The Agreement between the City of Beloit and the Wisconsin Professional Police Association/Law Enforcement Employee Relations Division Union (WPPA/LEER) expired on 12/31/13. The City and the Union have reached a tentative agreement that has been ratified by the Union members on 10/15/14. The matter is now before the Council for approval.

Key Issues (maximum of 5):

1. Wages are increased by 2% for 2014, 0% for 2015, 1% for 2016 and 2017. These are slightly below average increases of comparable Wisconsin cities due to the economic state of the City.
2. Medical Insurance for those hired before 1/1/95 is unchanged. For those hired after 1/1/95; substantial changes in language to clarify vagueness of current contract language. Those retirees who are eligible for other group health insurance shall be required to enroll in that other group plan. The City will reimburse all costs to the retiree for the "other" group health insurance up to \$12,700 family / \$6,350 single, which follows the current ACA (Affordable Care Act) maximum out-of-pocket amounts set for CY 2014. The City will continue to use the ACA as the benchmark for reimbursement but has set a cap not to exceed \$20,000 family / \$10,000 single. A Health Reimbursement Account (HRA) will be established and funded via the Health Fund.
3. Post 1/1/95 retirees will be allowed to remain on the COB health plan if no other group coverage available, until Medicare eligible age.
4. Annual VEBA (Voluntary Employee's Beneficiary Association) contributions will be \$675 in 2014 and 2015; \$750 in 2016; \$825 in 2017.
5. The gratuity pay increased from 4 to 6 weeks for employees retiring that were hired after 1/1/95. Increased additional gratuity pay from 2 to 4 weeks if a post 1/1/95 retiree has 120 days of sick leave balance at the time of retirement.

Conformance to Strategic Plan (List key goals this action would support and briefly discuss its impact on the City's mission.): Goal 3. Continued promotion of a safe and healthy community.

Sustainability (Briefly comment on the sustainable long term impact of this policy or program related to how it will impact both the built and natural environment utilizing the four following eco-municipality guidelines.):

- Reduce dependence upon fossil fuels –
- Reduce dependence on chemicals and other manufacturing substances that accumulate in nature –
- Reduce dependence on activities that harm life sustaining eco-systems –
- Meet the hierarchy of present and future human needs fairly and efficiently –

Action required/Recommendation:

Adopt the proposed resolution for the WPPA/LEER Police Union Agreement (2014 – 2017)

Fiscal Note/Budget Impact:

Wages have been budgeted appropriately for 2014 and will be for 2015 and throughout the terms of the Agreement.

Attachment:

**CITY OF BELOIT
TO
WISCONSIN PROFESSIONAL POLICE ASSOCIATION
LAW ENFORCEMENT EMPLOYEE RELATIONS DIVISION**

The City reserves the right to add, modify or withdraw any and all proposals.

ARTICLE XII-MEDICAL INSURANCE

12.02 For employees hired before January 1, 1995

Employees hired before January 1, 1995 retiring under honorable conditions or duty incurred injury or disease, from active employment and receiving an annuity from the Wisconsin Retirement Fund as Beloit Police Officers and their dependents (including widow/er and dependent children) shall be retained by the City as members of the eligible medical, hospital, and dental insurance group, under the plan document in effect at the time of retirement and the City shall pay the full premium cost.

For employees hired after January 1, 1995

For employees hired on or after January 1, 1995, retiring under honorable conditions or duty incurred injury or disease, from active employment and receiving an annuity from the Wisconsin Retirement Fund as Beloit Police Officers and their dependents (including widow/er and dependent children) shall be eligible to remain in the group health and dental plan, however, eligibility shall cease when the retiree becomes eligible for Medicare or another group health insurance plan (other than the City of Beloit), then the retiree and their dependents are required to enroll in that other group plan. The City agrees to reimburse on a monthly basis the premium cost, in addition to deductibles, copays, and coinsurance expenses, paid for that period, subject to the maximum contributions set forth herein. The maximum annual City reimbursement for premium, deductibles, copays,

and coinsurance will be based upon PHS Act Section 1302(c)(1), per the Affordable Care Act, which is \$6,350 single/\$12,700 family annually for calendar year 2014. For future years, the City agrees to reimburse on a monthly basis the premium cost, in addition to deductibles, copays, and coinsurance expenses, paid for that period up to the applicable single and/or family maximums set by the Affordable Care Act for that calendar year; however, annual reimbursements, during any year of retirement, shall not exceed \$10,000 single/\$20,000 family.

The retiree will be reimbursed payment of premiums and any deductibles, coinsurance and copayments from a Retiree Health Reimbursement Account (HRA) established by the City. The HRA accounts will be set up to reimburse retirees on a monthly basis after a request for reimbursement of the appropriate amount is made by the Retiree with the appropriate documentation. Appropriate documentation for reimbursement can include an Explanation Of Benefits (EOB) with regard to the deductible, coinsurance and copayment and/or a pay statement reflecting the premium contribution amount.

The retiree and any dependents receiving reimbursements under this program shall not participate in City's Group Health Plan and shall not be eligible to re-enroll or participate in the City's Group Health Plan. In the event the other group insurance is no longer available and the retiree acquires health insurance elsewhere, the retiree and dependent spouse/domestic partner shall continue to be reimbursed under the Health Reimbursement Account (HRA). Upon eligibility for Medicare of retiree, all reimbursements under the Retiree Health Reimbursement Account (HRA) will end.

Upon retirement, in the event a retiree is not eligible for coverage with another group health insurance plan, then the retiree and eligible dependents may remain in the City's group health and dental plan. Retirees shall be subject to any modifications of benefits, plan design, or carrier that the City may implement in the future and apply uniformly to the active employee's insurance plan. At the age of Medicare eligibility, retirees and their dependents that remain eligible for health care continuation, shall enroll in Medicare and will be responsible to pay the entire Medicare premium.

The City may, at its sole discretion, offer a supplemental or a fully insured policy to retirees after they reach Medicare eligibility. If such a program is offered, retirees may participate in any plan offered by the City with the retiree paying the full cost of the plan. The City reserves the right to stop offering a Medicare supplement plan at any time for any reason. (TA 8/8/14)

12.07 VEBA

~~The City agrees to establish a Voluntary Employee's Beneficiary Association (VEBA) in accordance with applicable sections of the Internal Revenue Service Code at no cost to the City., except in 2005, the City will contribute \$510 per year to a VEBA account for each employee. Beginning January 1, 2006, the City's contribution will be \$560 per year and beginning January 1, 2007, the City's contribution will be \$610 per year. Beginning January 1, 2008 the City's contribution will be \$675 per year. Details of the VEBA are set forth in Section 12.08 of this Agreement.~~

12.08 VEBA (Post-Employment Health Plan)

The City of Beloit ("Employer") agrees to participate in the Post-Employment Health Plan for Collectively Bargained Public Employees ("Plan") in accordance with the terms and conditions of the Plan's participation agreement, a copy of which is provided along with this agreement. The parties may jointly agree to change the administrator and/or trustee for the Plan during the term of the collective bargaining agreement.

The Employer agrees to contribute to the Plan on behalf of the following category of employees: All police officers and detectives employed by the City of Beloit, excluding supervisory, managerial, and confidential employees.

For the term of this agreement, the Employer shall contribute for each eligible employee the amount of \$675 in 2014 and 2015; \$750 in 2016; \$825 in 2017. (TA 8/8/14)

ARTICLE XV - WORKERS' COMPENSATION - SICK LEAVE

15.02 In the event of the death of any officer who has completed the probationary period and, at the time of the officer's death, is serving as an active employee of the Police Department, regardless of the number of years of service, the City shall pay into the officer's **VEBA** account an amount

equivalent to such officer's wages for fifty (50) percent of the officer's accumulated sick leave (TA 8/8/14)

15.04 Employees hired on or after January 1, 1995, retiring from active duty, and receiving annuities from the Wisconsin Retirement Fund, shall receive a maximum of ~~four (4)~~ **six (6)** weeks gratuity pay, from their sick leave bank, paid into the employee's ~~Section 125 Integrated Part Trust or paid to the employee at the time of retirement~~ **VEBA account**. Employees hired prior to January 1, 1995, shall receive a maximum of two (2) weeks gratuity pay, from their sick leave bank, paid ~~into the employee's Section 125 Integrated Part Trust or paid to the employee at the time of retirement~~ **VEBA account**. Upon retirement, any employee retiring with the maximum of one hundred twenty (120) days total in their bank will also receive ~~four (4)~~ **two (2)** weeks gratuity pay paid into the employee's ~~Section 115 Integrated Part Trust or paid to the employee at the time of retirement~~ (TA 8/8/14)

Appendix A

Salary Schedules

The City makes the following proposal on wages:

Effective 1/1/14	2.0%
Effective 1/1/15	0.0%

Added reopener language for mutual discussion to take place by 8/15/15
"me too" clause in reference to all other compensation agreed upon with IAFF

Effective 1/1/16	1.0%	
Effective 1/1/17	1.0%	(TA 8/8/14)

ARTICLE IX - HOURS OF EMPLOYMENT

9.04 Detectives shall be allotted 15 administrative days each year, and others including School Resource Officers, shall be allotted 18 days each year, at the start of the year to be taken in one-half (½) hour or more increments. Time not taken within the calendar year, or school contract year for School Resource Officers, shall not be carried over into the next year. Sworn personnel who normally work a 5/2-5/3 schedule that are temporarily assigned to a 5/2 schedule working a 8 ½ hour day for 30 consecutive calendar days or more, will receive one and one-half days off with pay per month. (TA 8/8/14)

ARTICLE XI - HOLIDAY PAY

11.02 Employees working a 5/2 schedule shall not receive any compensation for the holidays if they do not work on that day except that if any holiday listed below occurs during any one week vacation period, the employee will not be charged vacation leave for such days. The employee will be required to use five (5) vacation days for scheduling purposes within a thirty (30) day period of that holiday if they wish to protect a one-week block of vacation. For the purpose of this Article, full holidays are: (TA 8/8/14)

ARTICLE XX - PERSONNEL FILES

20.01 An employee shall receive a copy of everything put in his/her personnel file within the Police Department and shall have an opportunity to respond in writing. The employee must also sign all discipline or documents that may lead to discipline, evaluations, and commendations ~~materials~~ placed into their file as an acknowledgment of review, prior to placing such material in the personnel file. Any employee may examine his/her file upon request to the Chief or his/her designee. (TA 8/8/14)

ARTICLE XIV - LEAVES OF ABSENCE

- 14.05** The term "immediate" family as used herein includes spouse, domestic partner as defined in Wis. Stats. 40.02(21c) and 770.01(1), parents, step-parents and grandparents of employee and spouse, children, step-children, current son-in-law, current daughter-in-law, brothers, sisters, grandchildren, half-brothers and sisters, foster parents, guardians and children of guardians. (TA 8/8/14)
- 14.07** The term "non-immediate" family as used herein includes, sister-in-law, brother-in-law, step-brother, step-sister, foster parents and siblings, aunts and uncles, niece and nephew of the employee and the employee's spouse. (TA 8/8/14)

ARTICLE XV - WORKERS' COMPENSATION - SICK LEAVE

- 15.03** The condition in granting sick leave requires that the employee be ill or injured to a degree that prevents him/her from performing his/her regularly assigned duty. The employee shall call the officer in charge to notify him/her of the date he/she expects to return to work, if he/she is able to do so, otherwise, the employee shall call the officer in charge each day in advance so that arrangements can be made for a substitute. As a condition of returning to regular duty from sick leave, that exceeds three (3) working days, the Chief may require an officer to provide a doctor's certificate of illness. (TA 8/8/14)